

Exemption Certificate

Section 46 of the Planning Act 2016

File reference: EC23-05
Contact name: Mrs Ronnie McMahon: PD
Contact number: (07) 4671 7400
Date: 24 March 2023

MCG Sheds Pty Ltd
10-12 Betta Place
WARWICK QLD 4370

Dear Candyce,

I wish to advise that an Exemption Certificate is granted for a development comprising of a 4m x 6m domestic garage to be built within a mapped flood hazard area, on Lot 2 on RP76013, 5 Alice Street Inglewood.

1. Description of the Development to which this Certificate relates

**Assessable Development under the Goondiwindi
Region Planning Scheme 2018 (Version 2), Part 5
Tables of Assessment**

Part 5 Reference

"Accommodation activities" – "Dwelling house" (Domestic garage built within a mapped flood hazard area)	Table 5.9.1 (Flood Hazard Overlay Code)
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2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- The proposed development is to replace a smaller structure destroyed in the recent flood event. It is considered that the development will not increase the water flow velocity or flood level, and will not increase the potential for flood damage either on-site or on other properties as per PO2 of the Flood Hazard Overlay code.

3. When Exemption Certificate Ceases to have Effect

This Exemption Certificate has effect for **two (2) years**.

4. State Periods that Must be Complied with

To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 24 March 2025.

Should you have a query or seek clarification about any of these details, please contact Council's Manager of Planning Services, Mrs Ronnie McMahon, on (07) 4671 7400.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Carl Manton', with a long horizontal stroke extending to the right.

Carl Manton
Chief Executive Officer
Goondiwindi Regional Council

enc Attachment 1—Site Plan (5 Alice Street, Inglewood)



Attachment 1 – Site Plan (5 Alice Street, Inglewood)





Site map and shed location

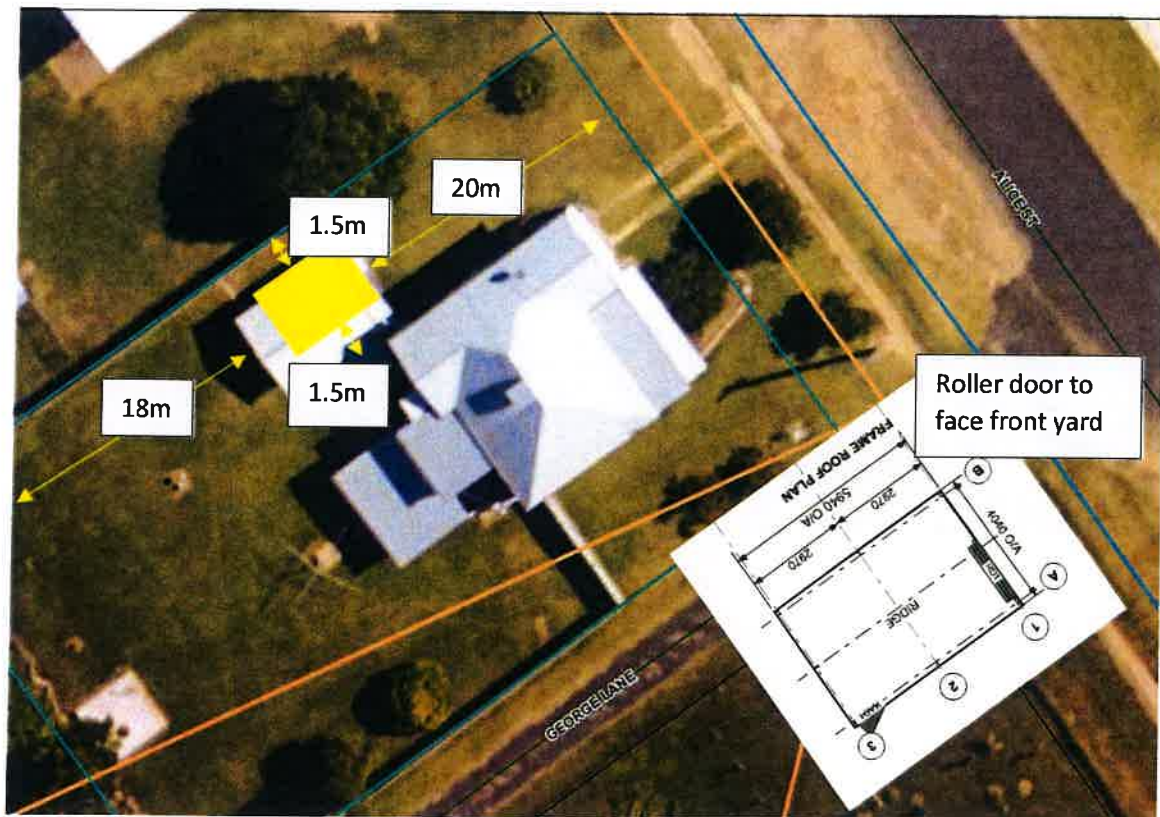
Client: Scott Armour

Phone number: 0414 596 962

Site address: 5 Alice Street, Inglewood

Measurements are approximate only

Drawings are not to scale



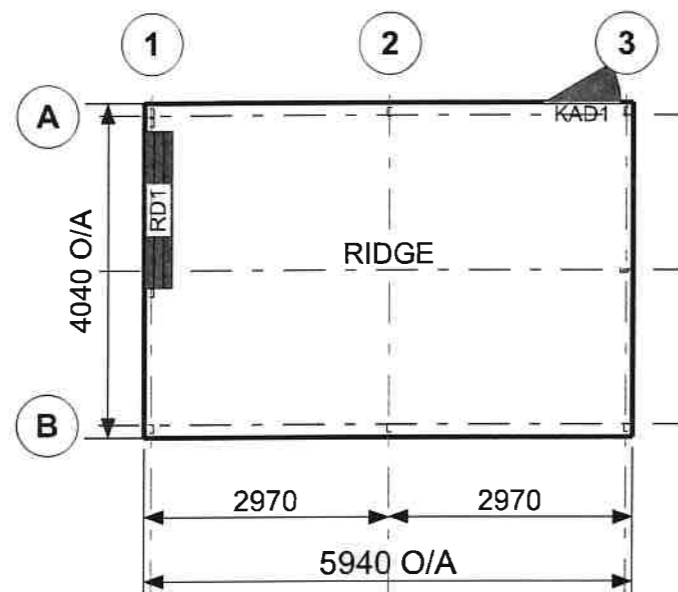
**It's not just a shed,
it's a Ranbuild! ✓**



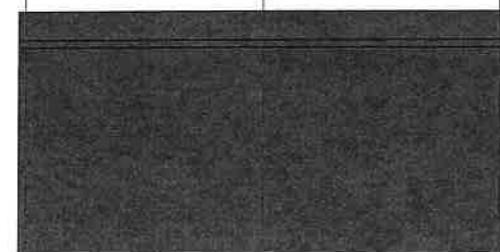
Current site view – shed to be no less than 1.5m away from existing building on left to allow space for building.



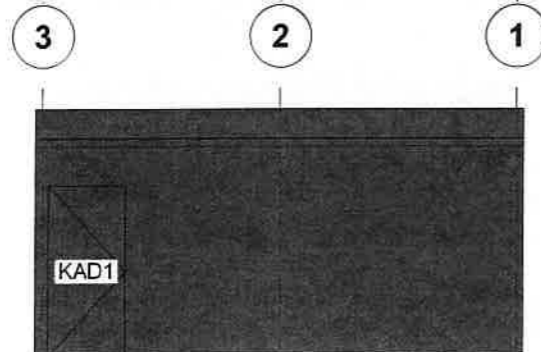
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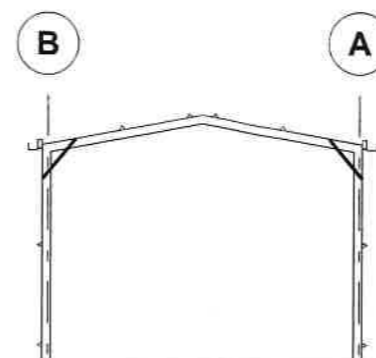
FRAME ROOF PLAN



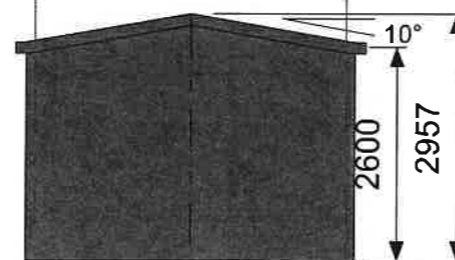
ELEVATION GRID B



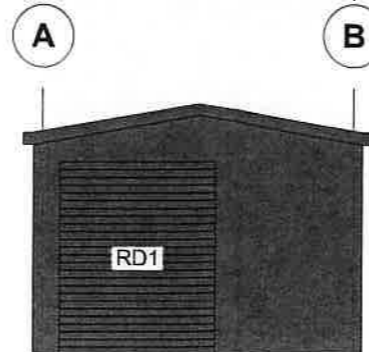
ELEVATION GRID A



SECTION GRID 2



ELEVATION GRID 3



ELEVATION GRID 1



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Lysaght Building
Solutions Pty Ltd
trading as RANBUILD

CLADDING

ITEM	PROFILE (min)	FINISH	COLOUR
ROOF	TRIMDEK 0.42 BMT	CB	PE
WALLS	TRIMDEK 0.35 BMT	CB	PE
CORNERS	-	CB	PE
BARGE	-	CB	PE
GUTTER	HI-QUAD	CB	PE

0.35bmt=0.40tct; 0.42bmt=0.47tct; 0.48bmt=0.53tct

ACCESSORY SCHEDULE & LEGEND

QTY	MARK	DESCRIPTION
1	RD1	B&D, Firmadoor, R.D, "R1F-W/Lock", 2230 high x 1900 wide Clear Opening width
1	KAD1	Premium (TA650DO) Access Door Kit, C/B (D). (Not Available in WA)

ARCHITECTURAL DRAWING ONLY, NOT FOR CONSTRUCTION USE

CLIENT

Scott Armour

SITE

**5 Alice Street
INGLEWOOD QLD 4387**

BUILDING

**SUNDOWN SUPER
4040 SPAN x 2600 EAVE x 5940 LONG**

TITLE

GENERAL ARRANGEMENT

SCALE
A4 SHEET 1:125

DRAWING NUMBER
422028-GA

REV
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1/1