

Exemption Certificate

Section 46 of the Planning Act 2016

File reference: EC23-04
Contact name: Mrs Ronnie McMahon: PD
Contact number: (07) 4671 7400
Date: 24 March 2023

Matthew Hilton
PO Box 193
GOONDIWINDI QLD 4390

Dear Matt,

I wish to advise that an Exemption Certificate is granted for a development comprising of a 14m x 6m domestic storage shed built within the allowable boundary setbacks, on Lot 40 on SP281677, 8 Toms Close, Goondiwindi.

1. Description of the Development to which this Certificate relates

Assessable Development under the <i>Goondiwindi Region Planning Scheme 2018 (Version 2), Part 5 Tables of Assessment</i>	Part 5 Reference
--	------------------

"Accommodation activities" – "Dwelling house" (Domestic shed within allowable boundary setbacks)	Table 5.5.4 (General Residential Zone Code - AO3.1)
--	---

2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- The development is proposed to be 0.8m from the side boundary, and it is considered that this would not detract from the amenity of the adjoining premises, as per AO3.2 of the General Residential Zone Code.

3. When Exemption Certificate Ceases to have Effect

This Exemption Certificate has effect for **two (2) years**.

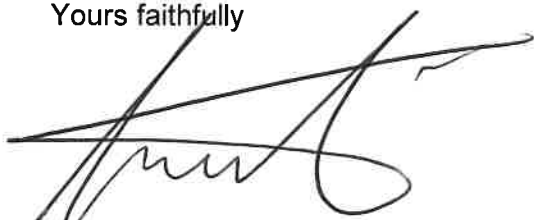
4. State Periods that Must be Complied with

To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 23 March 2025.

Should you have a query or seek clarification about any of these details, please contact Council's Manager of Planning Services, Mrs Ronnie McMahon, on (07) 4671 7400.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Carl Manton', written over a horizontal line.

Carl Manton
Chief Executive Officer
Goondiwindi Regional Council

enc Attachment 1—Site Plan (8 Toms Close, Goondiwindi)

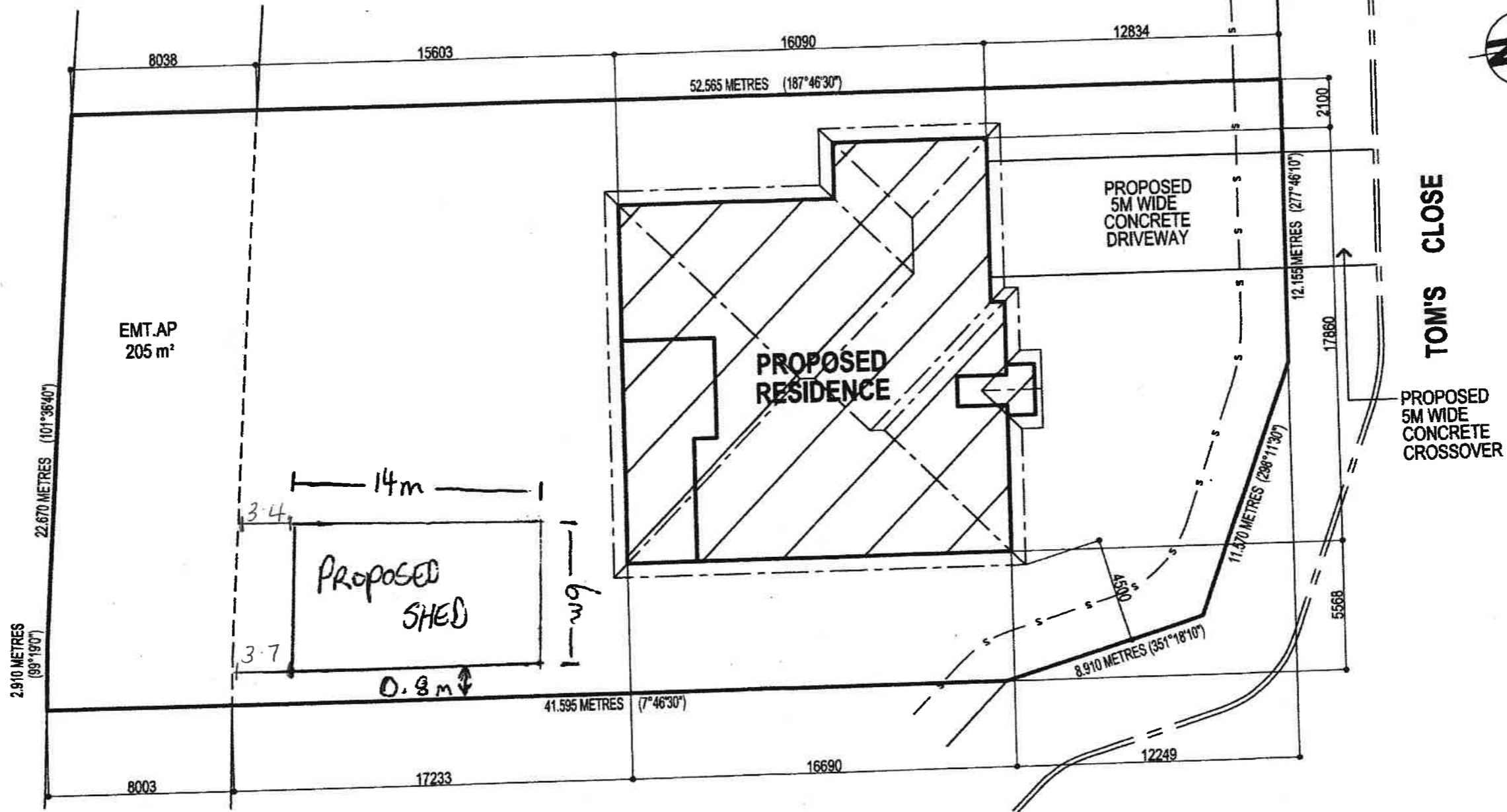


**Attachment 1 – Site Plan (8 Toms Close,
Goondiwindi)**



NOTE:
PRELIMINARY PLANS ONLY
NOT FOR CONSTRUCTION

REAL PROPERTY DESCRIPTION:
LOCAL GOVERNMENT - GOONDIWINDI REGIONAL COUNCIL
LOT 40 ON SP 209431
PARISH - GOONDIWINDI
COUNTY - MARSH
SITE AREA - 1321m²



© COPYRIGHT IN WHOLE OR PART ROBERT STEGER
ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS
AND THE BUILDING CODE OF AUSTRALIA.
DESIGNER SHALL NOT BE RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE BUILDING. VERIFY ALL DIMENSIONS ON SITE PRIOR
TO CONSTRUCTION.
THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH ALL RELEVANT BUILDING CODES AND NO AMENDMENT SHALL BE MADE
WITHOUT APPROVAL.

NO.	DATE	DRAWN	AMENDMENT
1	12/11/20	AVG.	ISSUE FOR COMMENT

PROJECT - **NEW RESIDENCE**
Autodesk Cadsoft Building

CLIENT: **MATT HILTON & CHANTELE MARTIN**
ADDRESS: Lot 40 TOM'S CLOSE
GOONDIWINDI

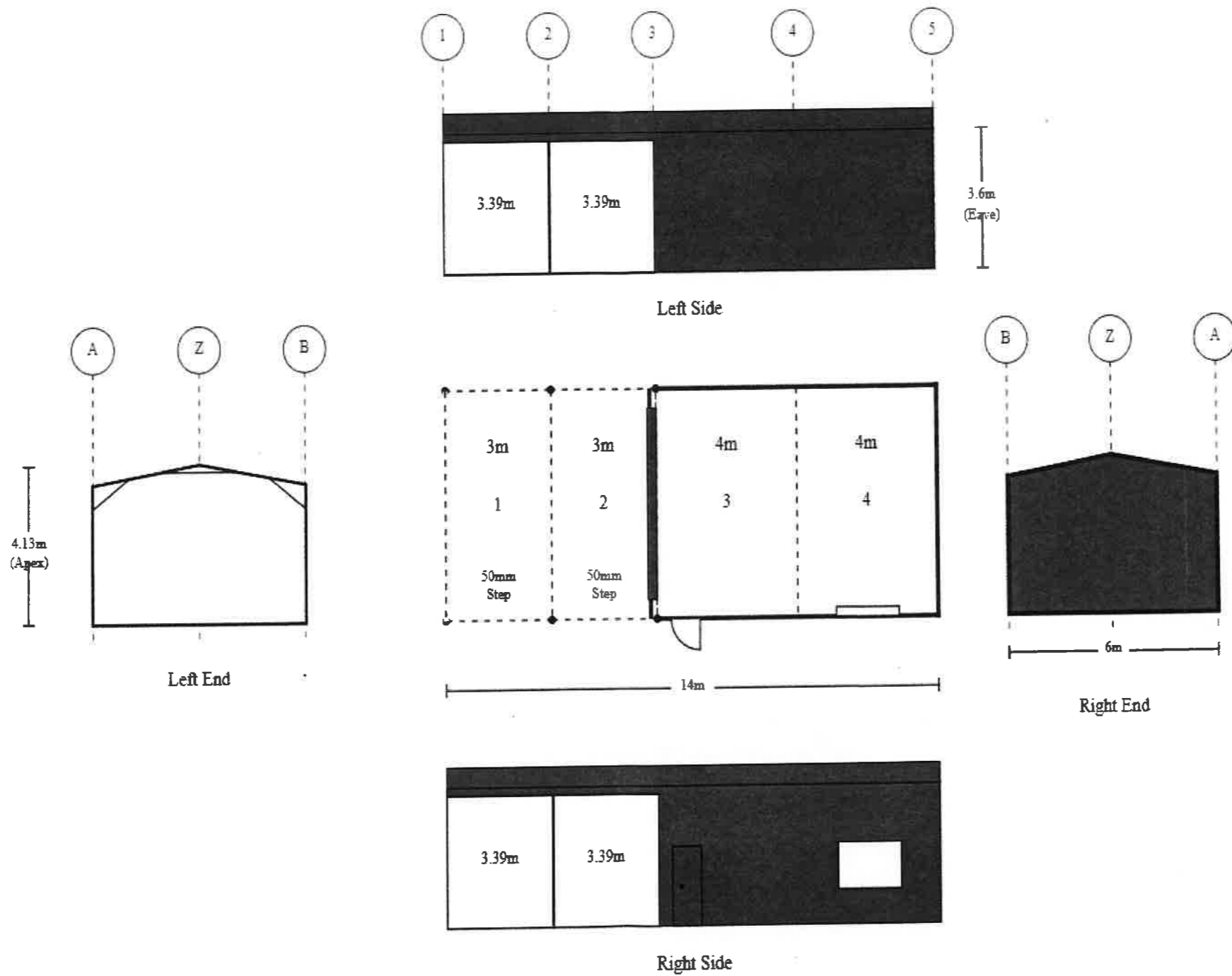
SIGNATURES -
OWNERS: _____
BUILDER: _____

SHEET NAME: **SITE PLAN**
SCALE: 1:200
DATE: 201102.01
REV: 1

DRAWN: A. GERRY TC2.5 - T1 - PS N3
CHECKED: R. J.S.

COPYRIGHT - 2020 B.S.A. Lic. No. 57682
ROBERT STEGER ABN - 601 393 772 96

SHEET SIZE @ 1:200 - A3 SHEET 2 OF 9



Purchaser Name: Matt Hilton

Site Address: 8 Toms Cl Goondiwindi QLD 4390 Australia

Drawing # WSS224563 - 3

Print Date: 24/11/22

Layout
Not to Scale
© Copyright SteelxIP Pty Ltd

Seller: Wide Span Sheds Pty Ltd
Wide Span Sheds Pty Ltd
Phone: 07 5657 8888
Fax: 07 5657 8899
Email: admin@sheds.com.au

Apex Engineering Group PTY LTD
ACN 632 588 562
ME Aust. (Registered NER Structural) 5276680
QLD : RPEQ No. 24223; TAS : 185770492; VIC : PE0003848; N.T. : 303557ES;
Practising Professional Structural & Civil Engineers

Signature:

John Ronaldson

Date: 24/11/22