

Exemption Certificate

Section 46 of the Planning Act 2016

File reference: EC23-07
Contact name: Mrs Ronnie McMahon: PD
Contact number: (07) 4671 7400
Date: 20 March 2023

Project BA
C/- Daniel Eichhorn
PO Box 45
NOOSAVILLE QLD 4566

Dear Daniel,

I wish to advise that an Exemption Certificate is granted for a development comprising of a domestic shed within a mapped flood hazard area and built within the allowable boundary setbacks, on Lot 24 on T5861, 27 Pfingst Street, Toobeah.

1. Description of the Development to which this Certificate relates

Assessable Development under the Goondiwindi Region Planning Scheme 2018 (Version 2), Part 5 Tables of Assessment

Part 5 Reference

"Accommodation activities" – "Dwelling house" (within a mapped flood hazard area)	Table 5.9.1 (Flood Hazard Overlay Code)
"Accommodation activities" – "Dwelling house" (within the allowable boundary setbacks)	Table 5.5.12 (Township Zone Code - AO2.1)

2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- Anecdotal evidence provided by a long-term resident suggests that the township of Toobeah has not flooded in 25 years. The application states that the dwelling will be on 2.4m stumps, which ensures the habitable floor level will be the required 300mm above the defined flood event as per AO1.2 of the Flood Hazard Overlay code.

- It is proposed that the development be 2.5m from the primary road frontage to ensure the installation of the appropriately approved and designed on-site sewerage effluent disposal system, located in the rear section of the site, is lawful.
- It is considered that the proposed development will not affect the amenity of any adjoining premises, as per PO2 of the Township Zone code.

3. When Exemption Certificate Ceases to have Effect

This Exemption Certificate has effect for **two (2) years**.

4. State Periods that Must be Complied with

To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 20 March 2025.

Should you have a query or seek clarification about any of these details, please contact Council's Manager of Planning Services, Mrs Ronnie McMahon, on (07) 4671 7400.

Yours faithfully



Ronnie McMahon
Manager of Planning Services
Goondiwindi Regional Council

enc Attachment 1—Site Plan (27 Pfingst Street, Toobeah - Lot 24 on T5861)



**Attachment 1 – Site Plan (27 Pfingst Street,
Toobeah - Lot 24 on T5861)**



GENERAL NOTES:

- DO NOT SCALE FROM THIS DRAWING - WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- ANY DISCREPANCIES WHICH THE CONTRACTOR MAY FIND IN THIS DRAWING MUST BE BROUGHT TO THE ATTENTION OF EVOKE ARCHITECTS PRIOR TO COMMENCEMENT OF WORK. - VERIFY ALL DIMENSIONS PRIOR TO ORDERING OR SHOP FABRICATION.
- SMOKE DETECTORS TO BE WIRED INTO ELECTRICITY MAINS AND TO COMPLY WITH NCC, PART 3.7.5.
•SD

- ALL GLAZING TO COMPLY WITH AS 1288-2006 GLASS IN BUILDINGS & AS 4055-2012 FOR WINDLOADING.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS, THE NATIONAL CONSTRUCTION CODE & LOCAL AUTHORITY REGULATIONS
- FOOTINGS HAVE BEEN DESIGNED IN ACCORDANCE WITH ASSOCIATED SOIL TESTS AND/ OR ENGINEERS SPECIFICATIONS.
- DRAWINGS TO BE READ IN CONJUNCTION WITH ATTACHED ENGINEERS NOTES.
- ARTICULATION JOINTS TO ENGINEERS DESIGN REPORT
- LOH - WHERE INDICATED TO BE REMOVABLE DOORS WITH LIFT OFF HINGES IN ACCORDANCE WITH NCC 3.8.3
- REFER ENGINEER'S PLAN FOR EXPANSION JOINT LOCATIONS
- WATER PROOFING TO WET AREAS TO COMPLY WITH NCC, PART 3.8.1
- SMOKE ALARMS TO BE INTER-CONNECTED

SUSTAINABILITY COMPLIANCE

- 1. TRIPLE 'A' RATED SHOWER ROSES.
- 2. DUAL FLUSH TOILETS (6 LITRE FULL FLUSH / 3 LITRE HALF FLUSH).
- 3. 500kpa WATER PRESSURE-LIMITING DEVICES.
- 4. ENERGY EFFICIENT LIGHTING TO 80% OF DWELLING INTERNAL FLOOR SPACE.

TERMITE PROTECTION:
TO AS3660-2017 "TERMSPEC" TERMITE MANAGEMENT SYSTEM TO ALL SLAB PENETRATIONS AND PERIMETER OF SLAB. CONCRETE SLAB TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS2870. REFER ENGINEERS PLAN FOR EXPANSION JOINT LOCATIONS.

SLAB:
STEPDOWNS TO EXTERNAL SURFACES TO COMPLY WITH THE NCC. CONCRETE SLABS, PATHS & DRIVEWAYS NOT DESIGNED BY ENGINEER ARE NOT PART OF THIS APPLICATION.

PLUMBING:
PLUMBER / DRAINER TO VERIFY ALL DIMENSIONS PRIOR TO POSITIONING UNDERSLAB POINTS. MEASUREMENTS MAY VARY. FLOOR WASTE FIXTURES TO BE POSITIONED AT THE TIME OF CONSTRUCTION.

ALL BUILDINGS SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS 3660.1 AND A DURABLE NOTICE SHALL BE PLACED IN THE METER BOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS.

SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES-
i) ALL ROOMS WITHIN 500mm VERTICAL OF THE FLOOR
ii) BATHROOMS- WITHIN 1500mm VERTICAL OF THE BATH BASE
iii) FULLY GLAZED DOORS
iv) SHOWER SCREENS
v) WITHIN 300mm OF A DOOR AND <1200mm ABOVE FLOOR LEVEL
vi) WINDOW SIZES ARE NOMINAL ONLY, ACTUAL SIZES WILL VARY WITH MANUFACTURER, FLASHING ALL ROUND.

NOTE: GLAZING REQUIREMENTS MAY BE DIFFERENT FROM THAT STATED UNDER BUSHFIRE CATEGORY REQUIREMENTS REFER 'BAL RATING'

FOOTINGS NOT TO ENCROACH TITLE BOUNDARIES OR EASEMENTS. IT IS RECOMMENDED THAT WHERE BUILDINGS ARE TO BE LOCATED IN CLOSE PROXIMITY OF BOUNDARIES, A CHECK SURVEY BE CONDUCTED BY A LICENSED SURVEYOR.

ALL STEELWORK IN MASONRY TO BE HOT DIP GALVANISED.

ALL WET AREAS TO COMPLY WITH NCC 3.8.1.2 AND AS 3740. SPLASH BACKS SHALL BE IMPERVIOUS FOR 150mm ABOVE SINKS, TROUGHS AND HAND BASINS WITHIN 75mm OF THE WALL.

PROVIDE WALL TIES AT 600mm SPACINGS BOTH VERTICAL AND HORIZONTAL AND WITHIN 300mm OF ARTICULATION JOINTS. BRICK TIES TO BE STAINLESS STEEL.

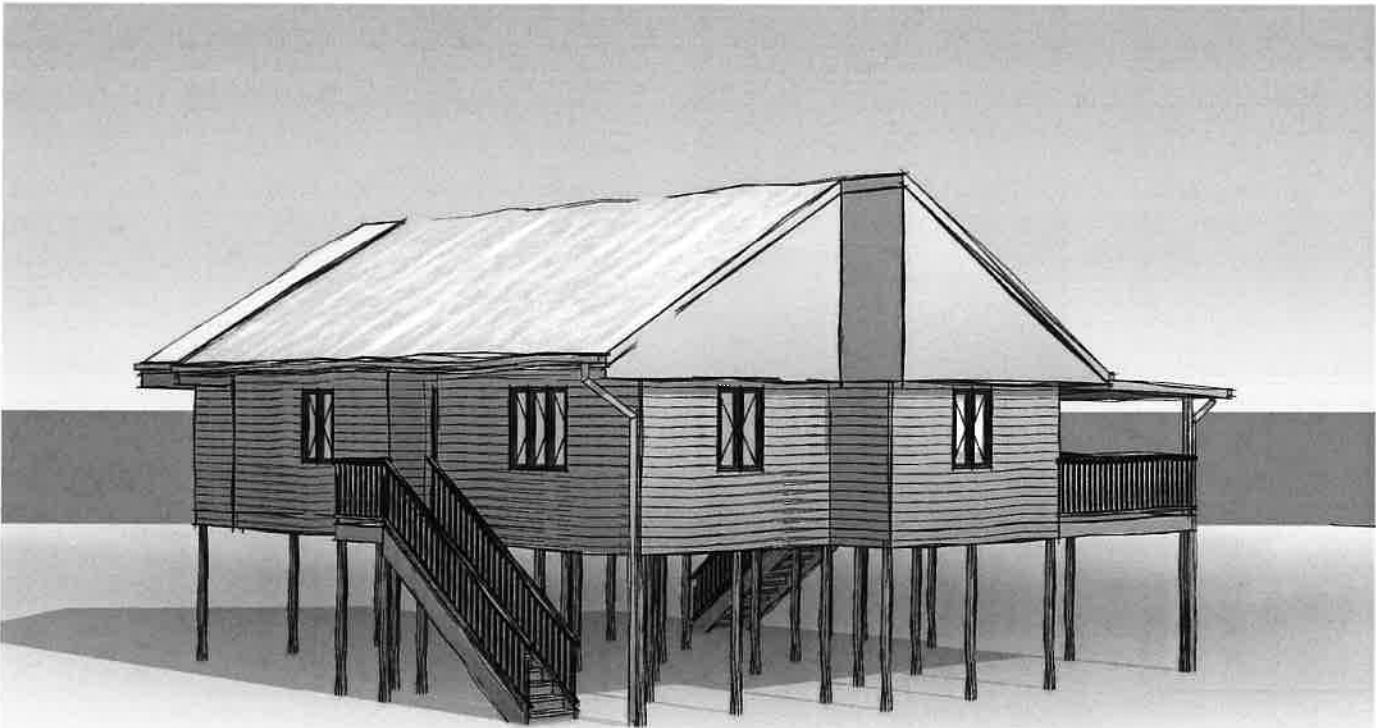
THERMAL INSULATION; INSULATION TO CEILING AND REFLECTIVE FOIL TO EXTERNAL WALLS OR AS PER ENERGY RATING REFER SARKING REQUIREMENT UNDER BUSH FIRE CATEGORY. BEDROOMS REQUIRE MINIMUM 10% LIGHT & 5% VENTILATION TO TOTAL FLOOR AREA.

RELEVANT AUSTRALIAN STANDARDS

- CONCRETE CONSTRUCTION TO COMPLY WITH NATIONAL CONSTRUCTION CODE.

- TIMBER STRUCTURE STANDARD AS 1720.3- 2016

- TIMBER CONSTRUCTION AS1684 - 2010
- MASONRY STRUCTURES AS4773-2010
- CONCRETE STRUCTURES AS3600-2018
- CONCRETE ROOF TILES AS2049-2002
- RESIDENTIAL SLABS & FOOTINGS AS2870-2011
- WINDOW & GLASS INSTALLATION AS2047 AND AS1288.
- BARRIERS FOR SUBTERRANEAN TERMITES TO COMPLY WITH THE PROVISIONS OF PART 3.1.3 OF THE NCC AND WITH AS3660.1-2014
- WIND LOADS FOR HOUSING AS4055-2012
- STEEL STRUCTURES AS4100-2016
- DAMP PROOF COURSE & FLASHINGS AS/NZS2904
- PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.2 OF THE NCC.
- PROTECTION OF LINTELS IN MASONRY TO COMPLY WITH THE PROVISIONS OF PART 3.3.3.4 OF THE NCC.



HOUSE RELOCATION TO:

LOT 24 PFINGST ST, TOOBEAH

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MORELLA AGRICULTURE
PROJECT ADDRESS:
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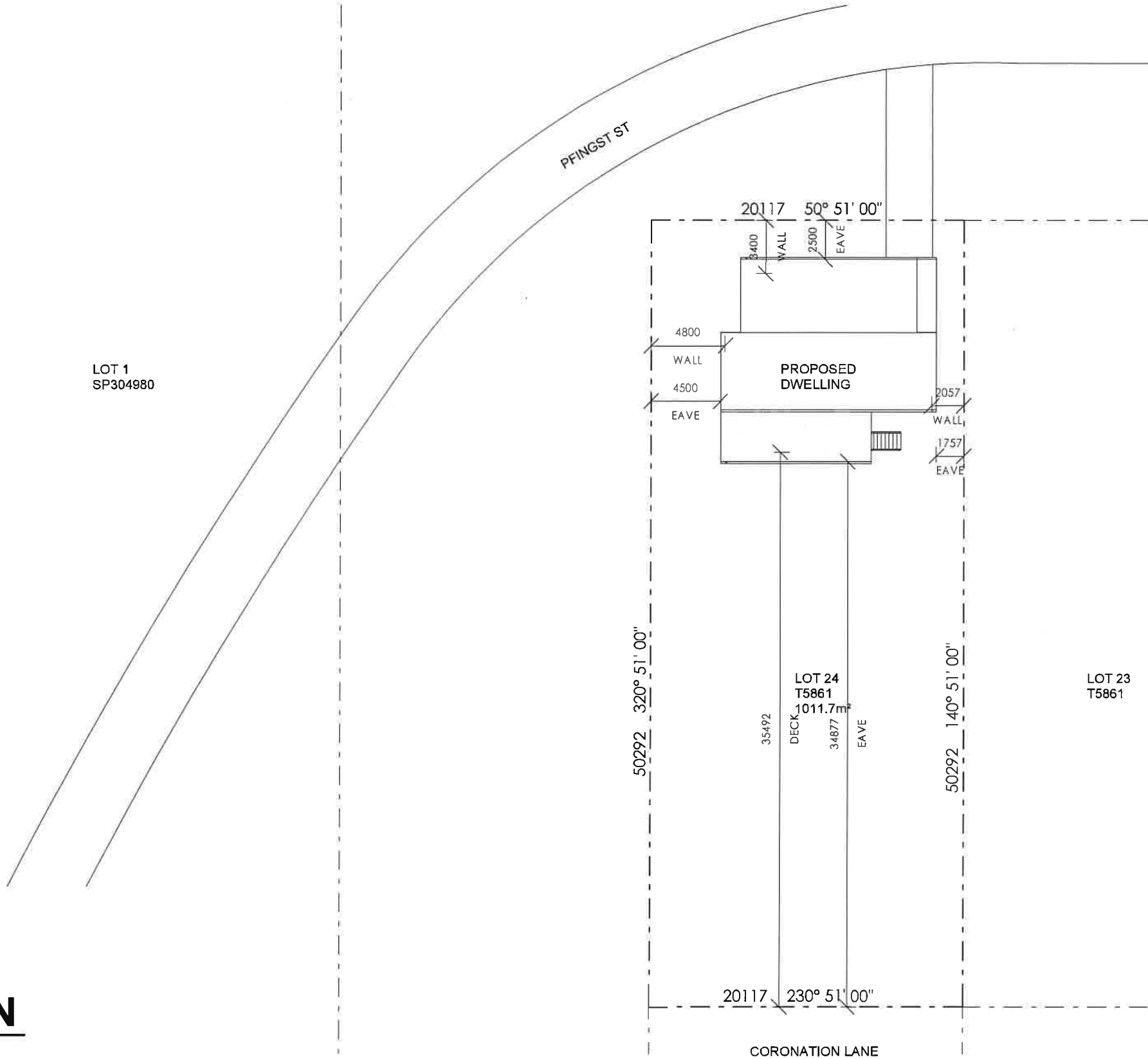


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SITE PLAN

1 : 300 @A3



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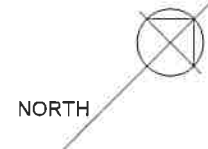
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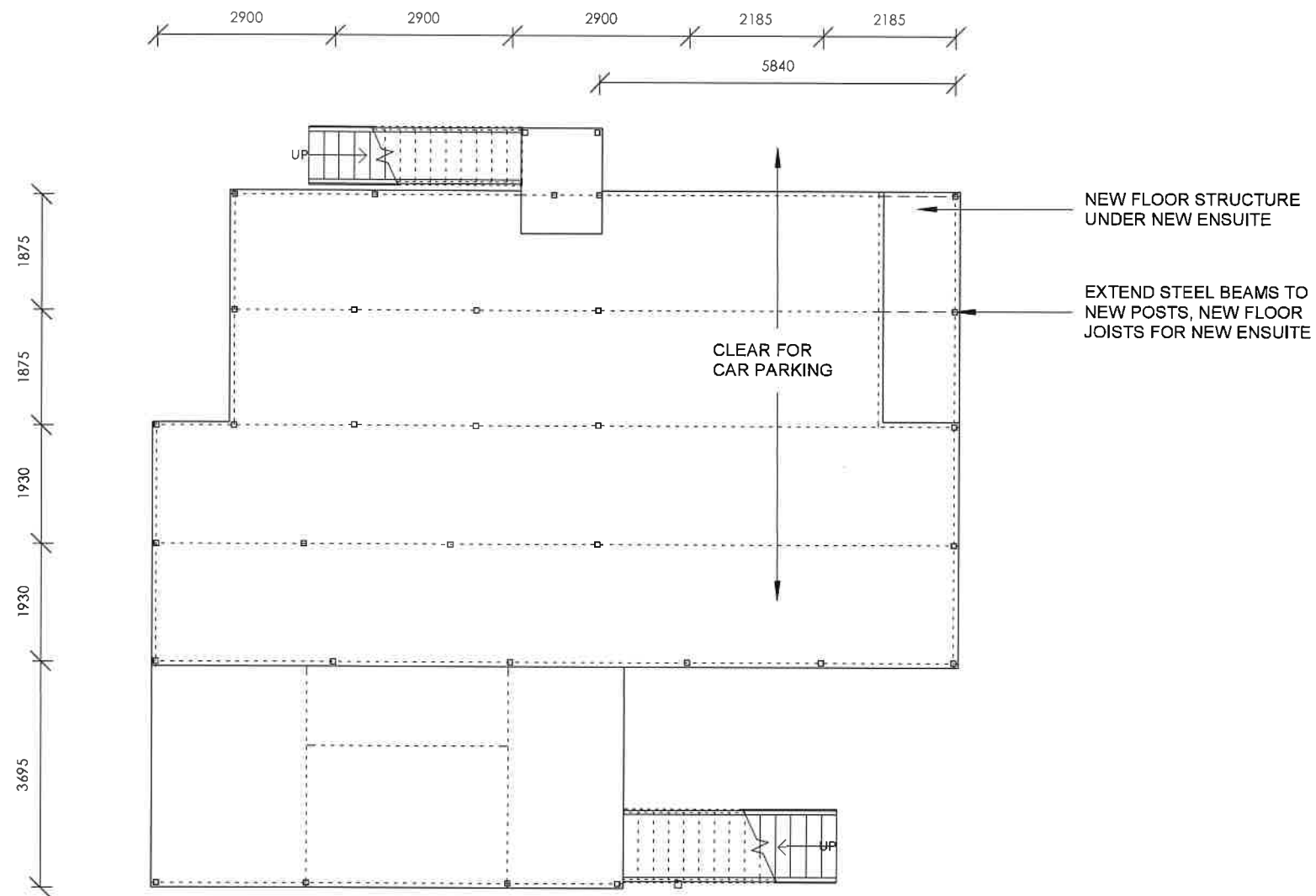
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PROPOSED COLUMN LAYOUT

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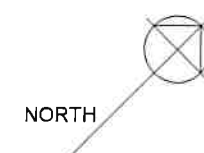
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1

PROPOSED FLOOR PLAN

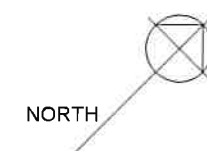
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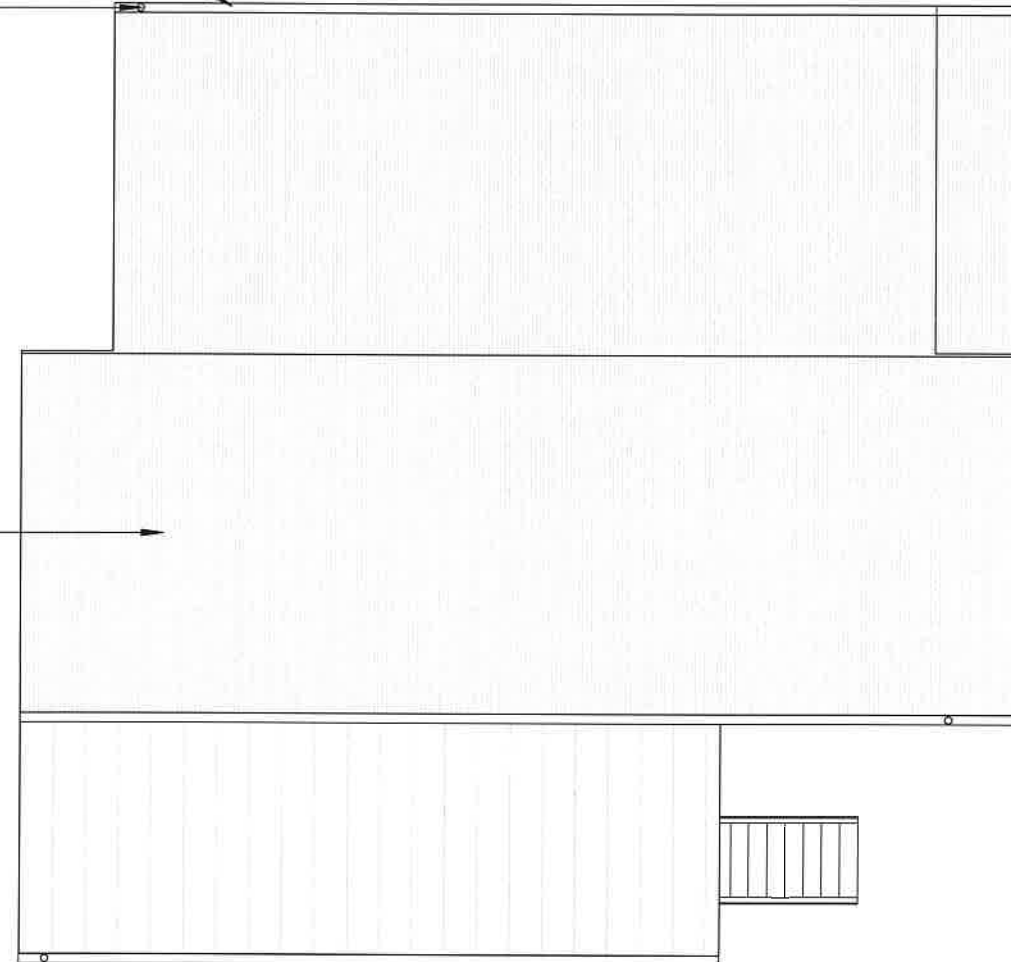
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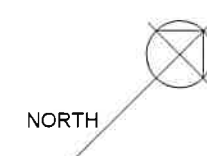
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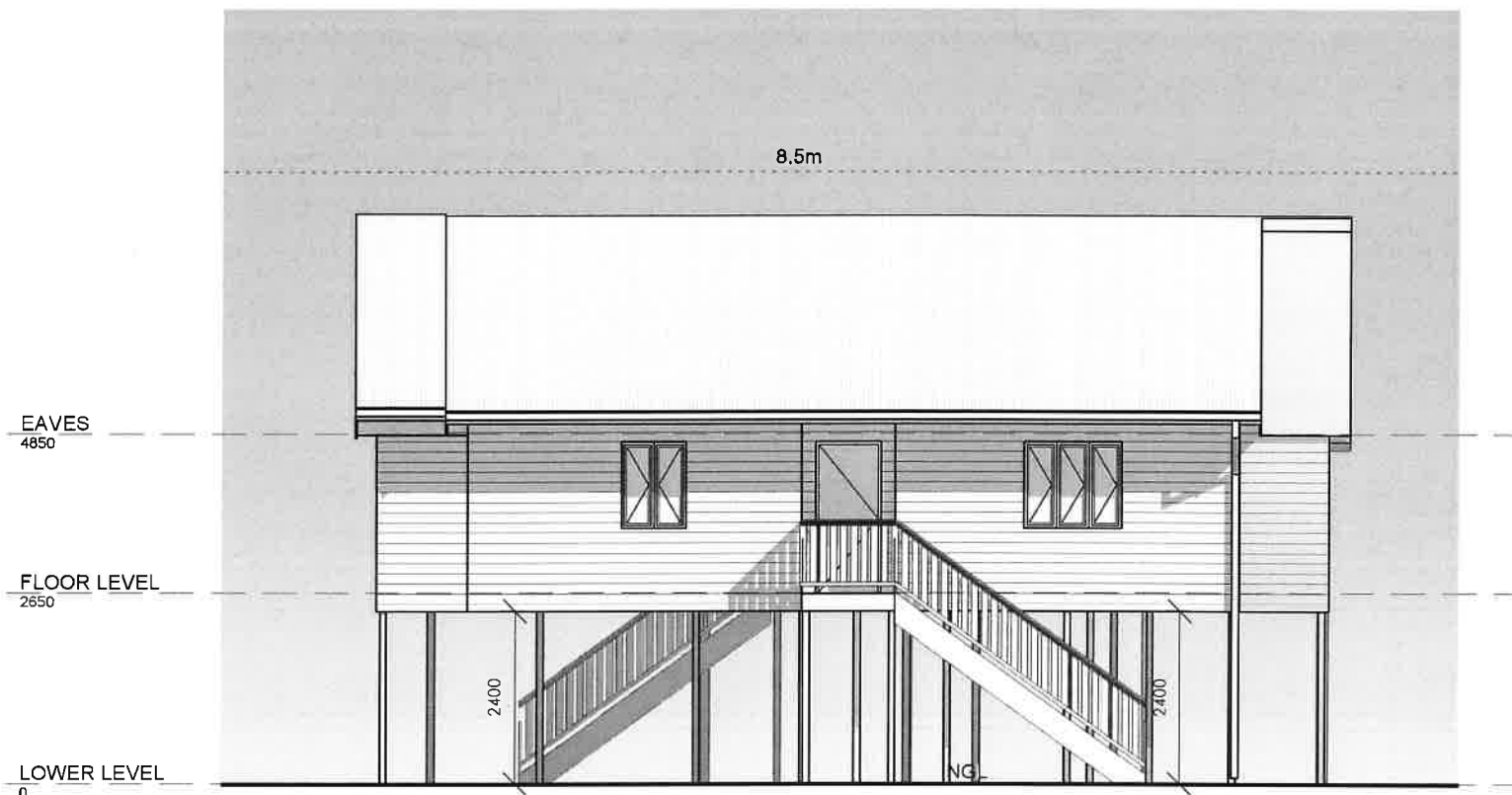


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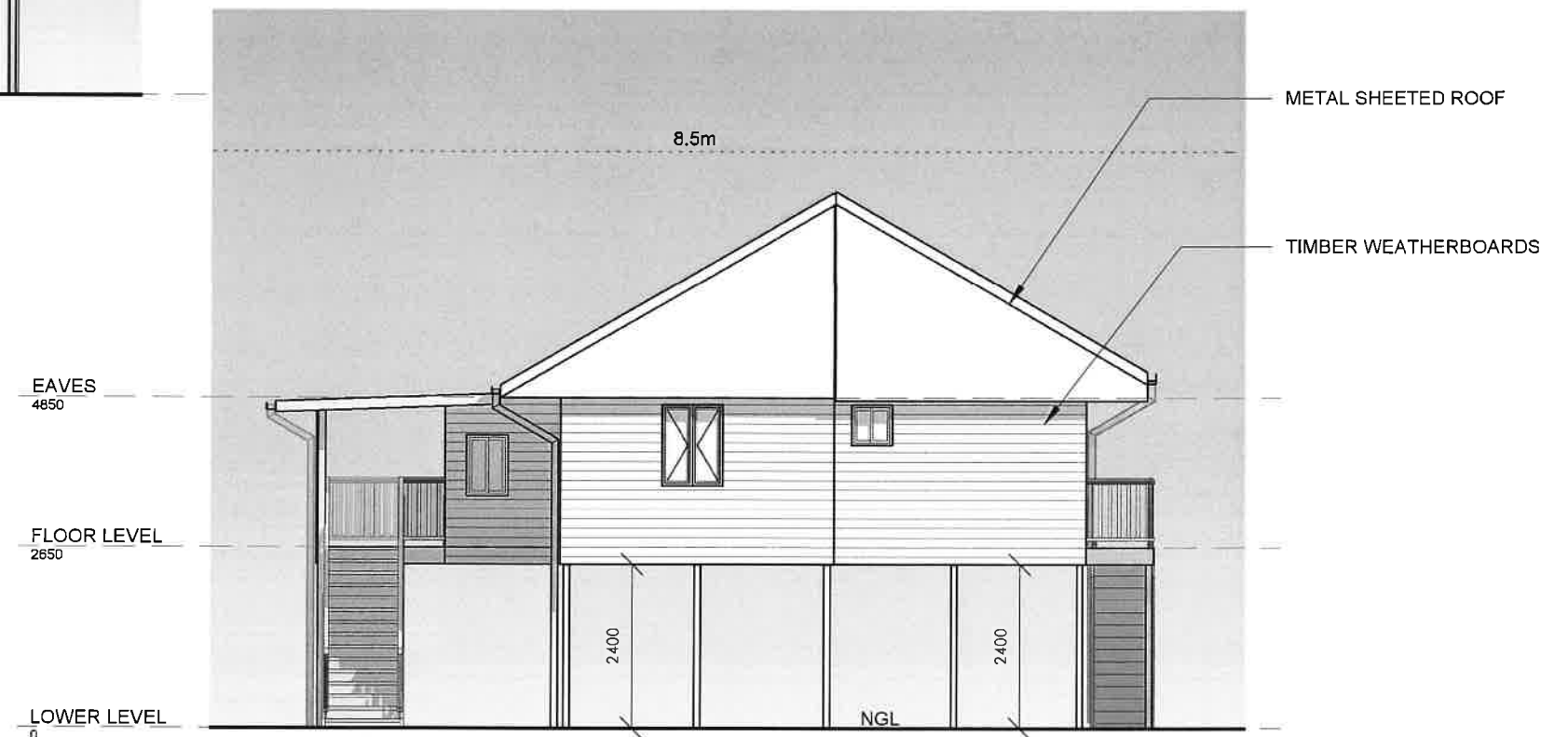
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NOTES:

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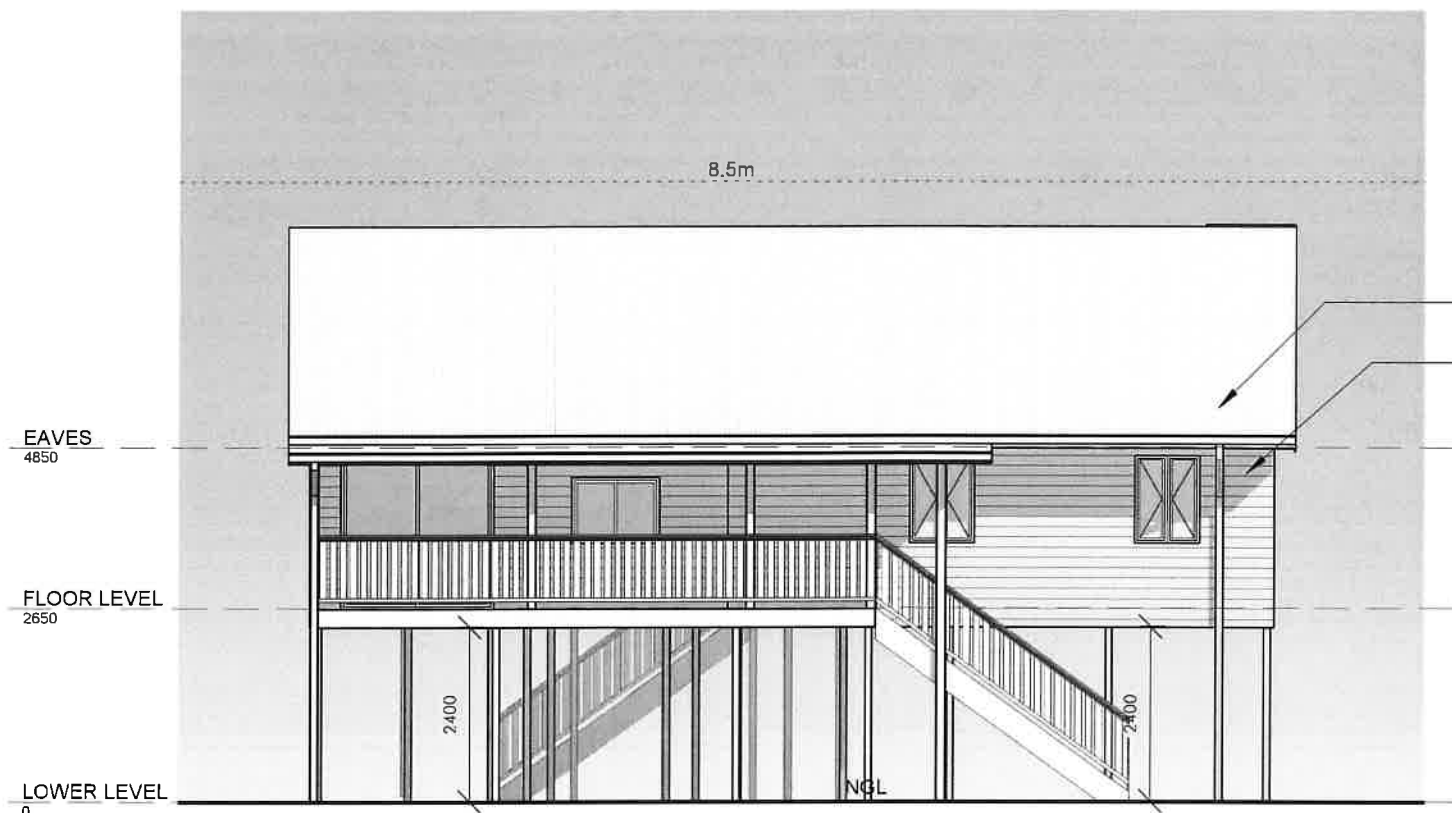
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03 SOUTH ELEVATION

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2

04 WEST ELEVATION

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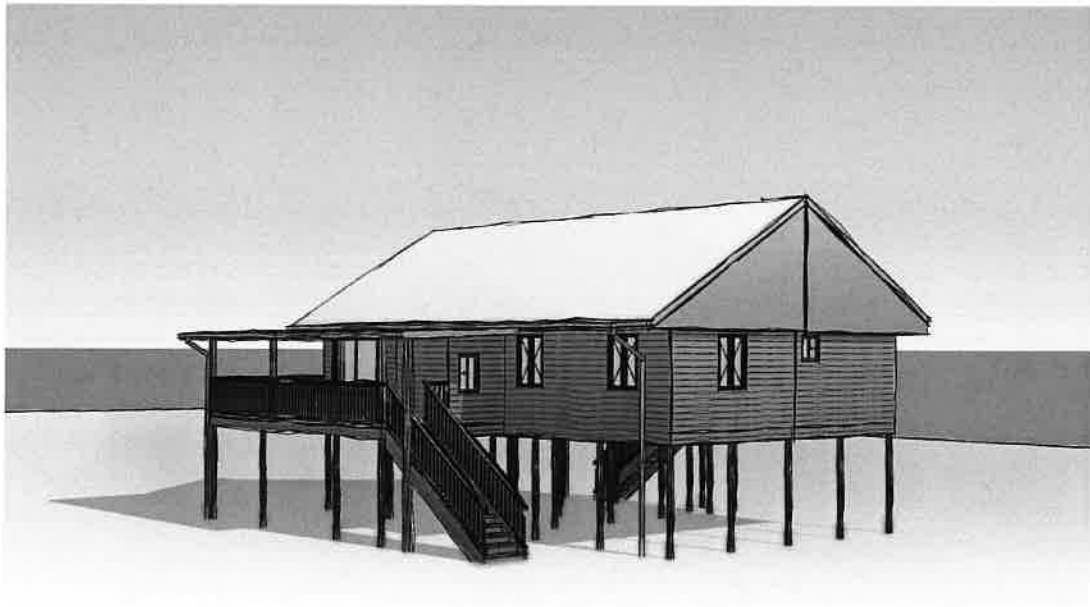
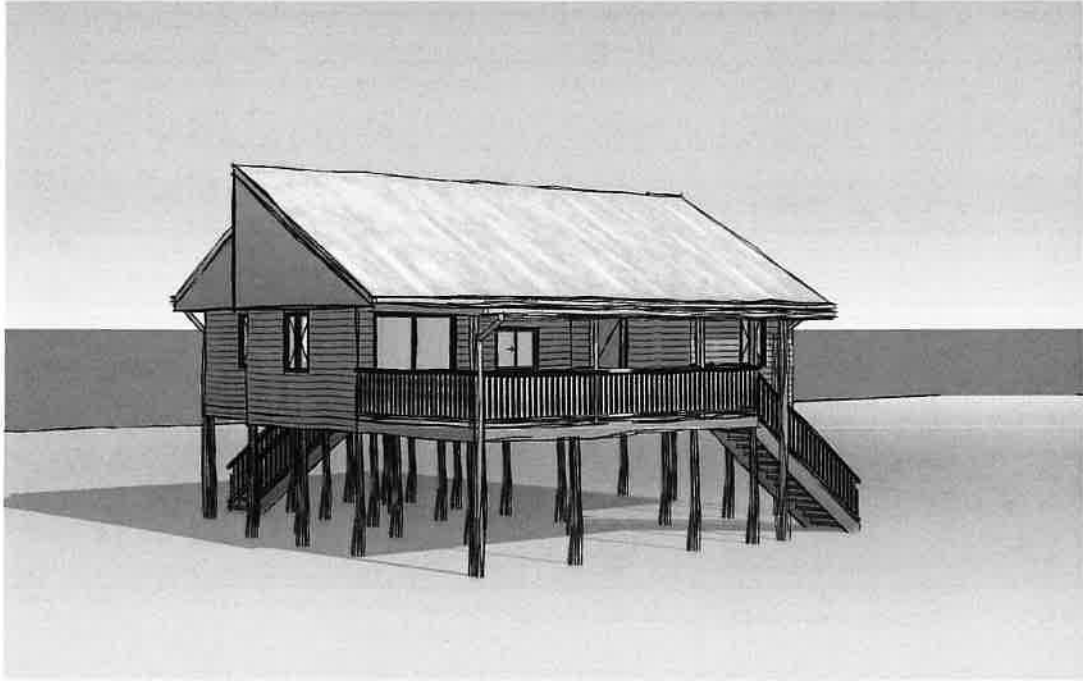
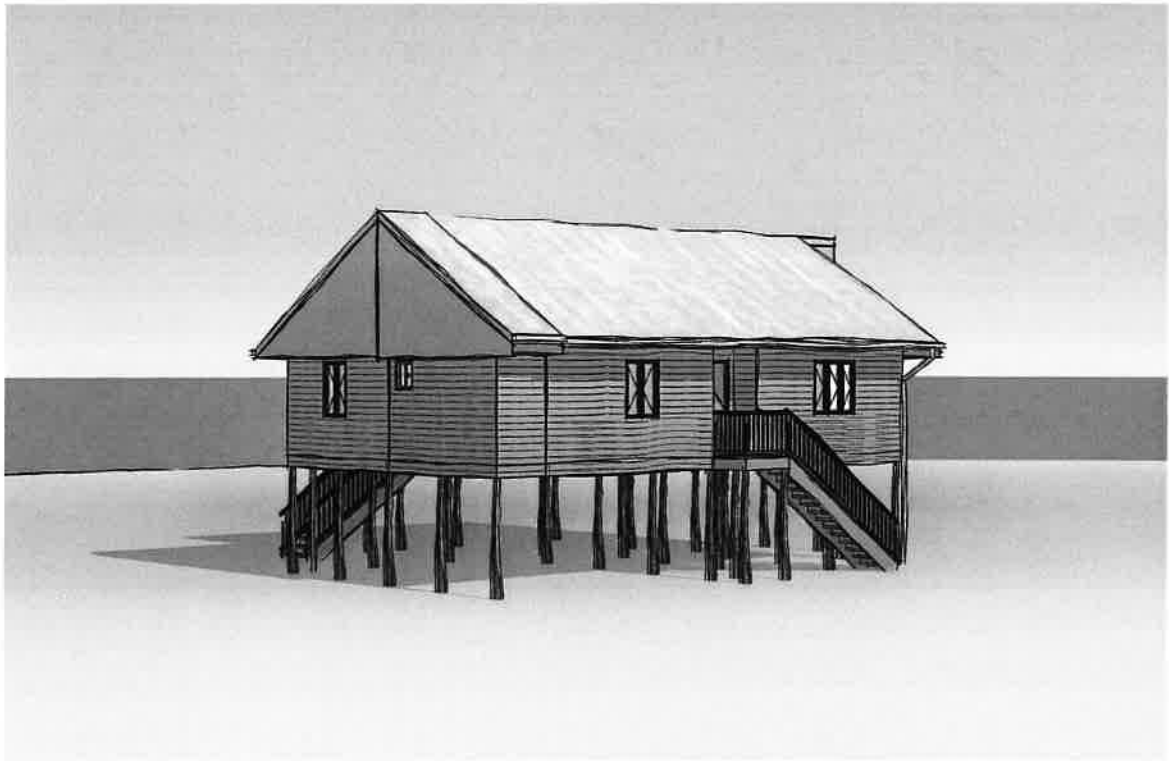
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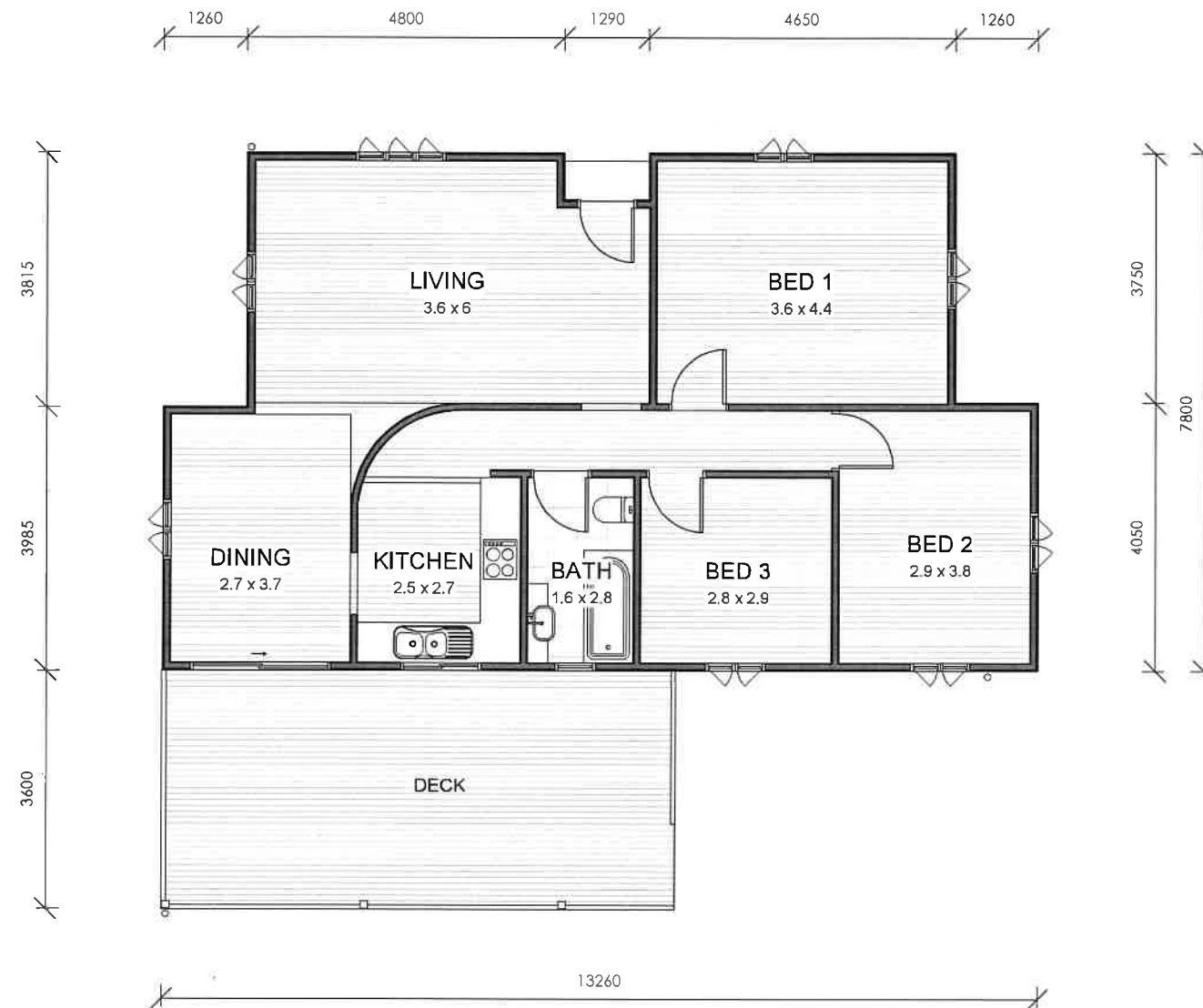
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EXISTING HOUSE 'HOSANNA'
LOCATED 40 MARS ST,
COORPAROO.

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EXISTING FLOOR PLAN

1 : 100 @A3

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EXISTING FLOOR PLAN

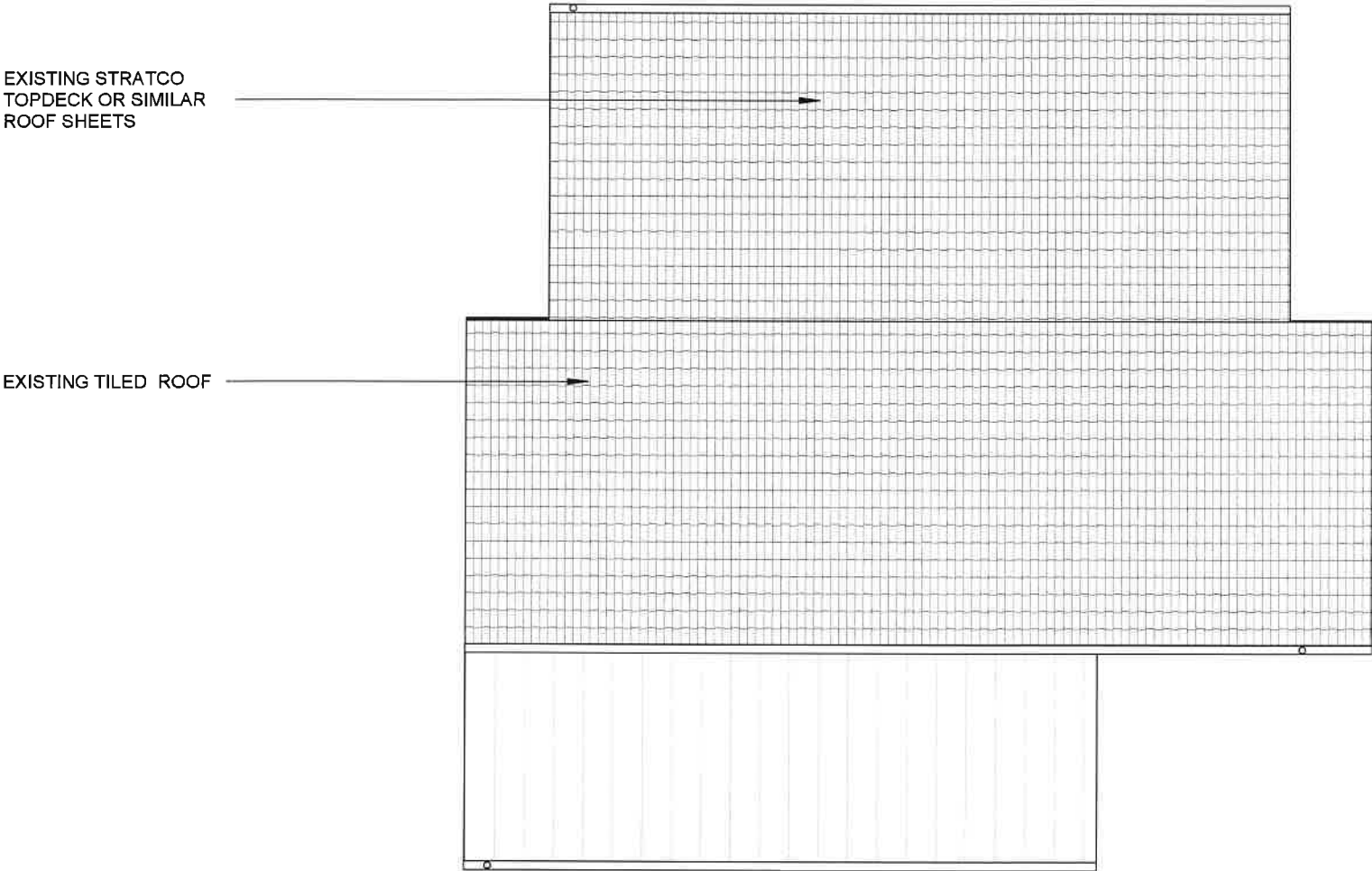
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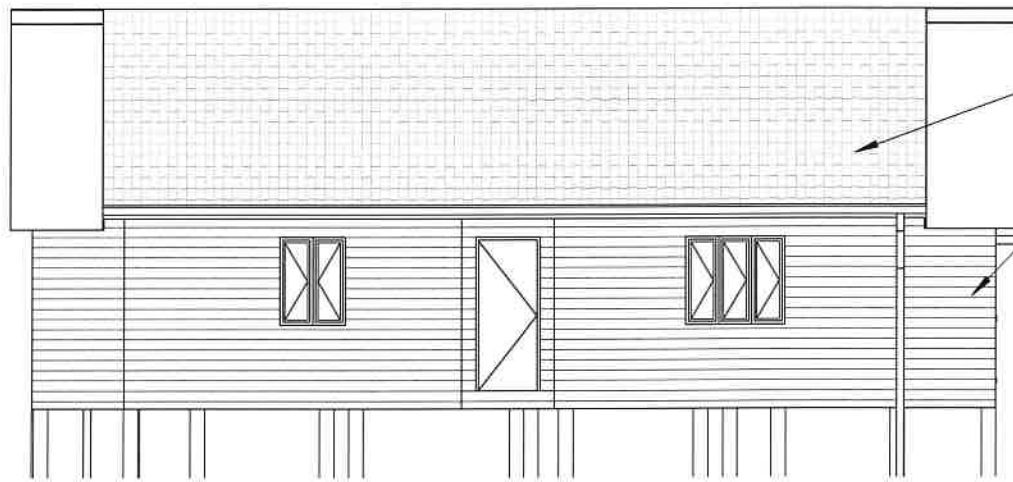
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EXISTING ROOF PLAN



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EXISTING TILED ROOF

EXISTING WEATHERBOARDS

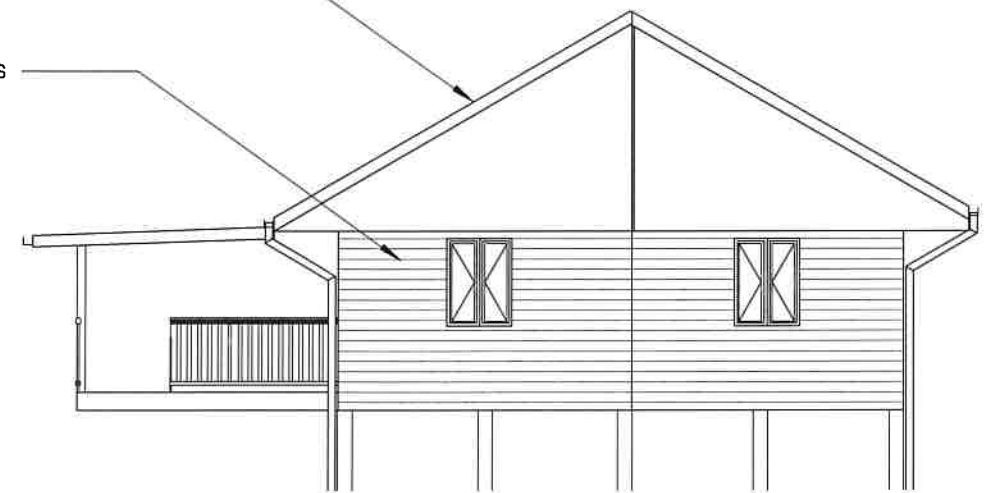
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EXISTING NORTH ELEVATION

1 : 100 @A3

EXISTING TILED ROOF

EXISTING WEATHERBOARDS



2

EXISTING EAST ELEVATION

1 : 100 @A3

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE NCC & RELEVANT AUSTRALIAN STANDARDS. FULL STRUCTURAL CERTIFICATION IS REQUIRED. DO NOT SCALE FROM DRAWINGS. CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY FABRICATION, SETOUT OR WORK. ANY COSTS ARISING FROM INCORRECT DIMENSIONING IS THE RESPONSIBILITY OF THE CONTRACTOR IF EVOKE ARCHITECTS IS NOT CONTACTED PRIOR TO CONSTRUCTION. VERIFY LOCATION OF EXISTING SERVICES BEFORE COMMENCEMENT OF WORK.

DATE	DESCRIPTION	REV
13.03.2023	FRONT SETBACK TO 6m	D
15.03.2023	FRONT SETBACK & POST LAYOUT AMENDED	E
15.03.2023	FRONT SETBACK REDUCED AGAIN TO 2.5m	F

PRO
1135

SHEET NUMBER
A - 22

REV
F

CLIENT NAME:

MORELLA AGRICULTURE

PROJECT ADDRESS:

LOT 24 PFINGST ST, TOOBEAH, QLD, 4498.

SHEET NAME:

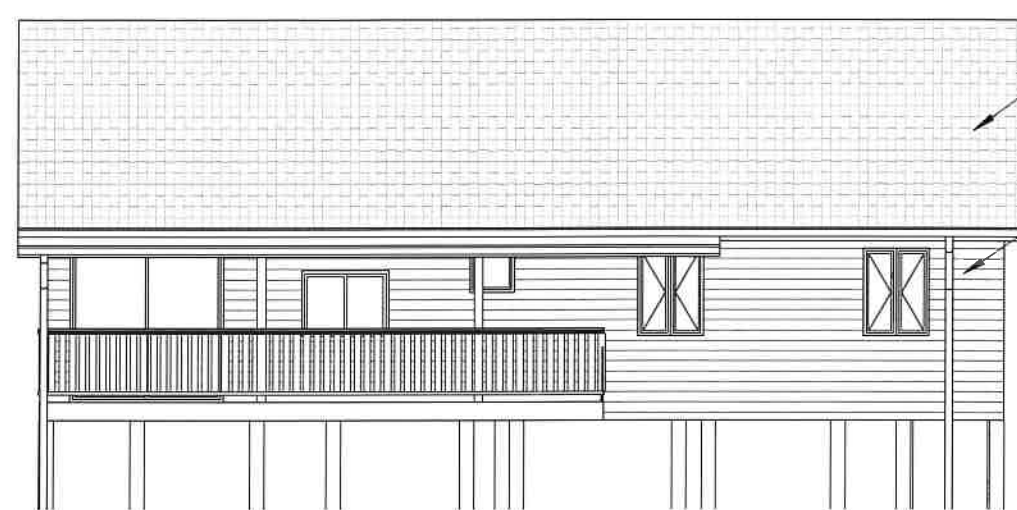
EXISTING ELEVATIONS

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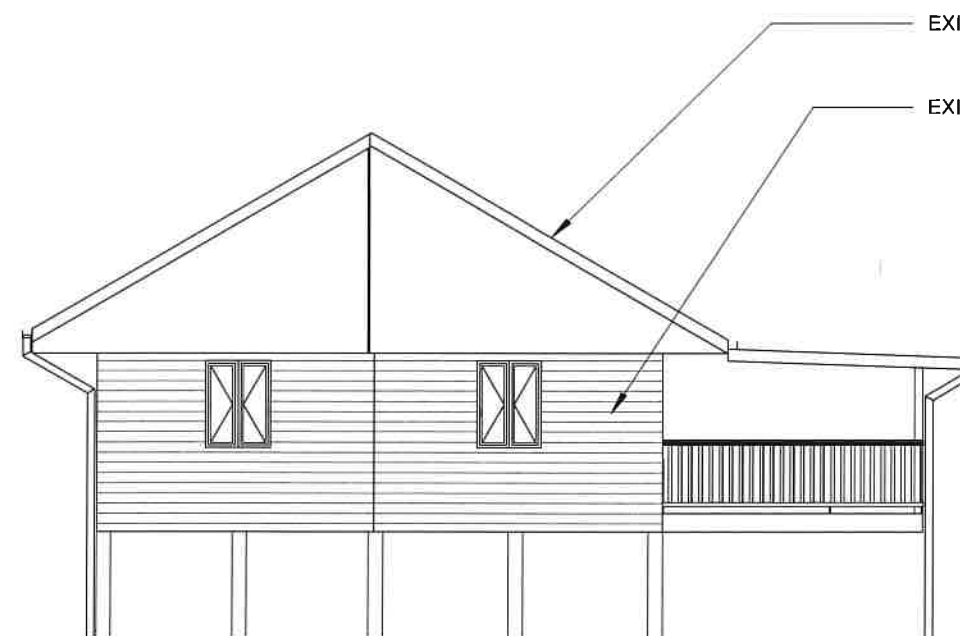
EXISTING TILED ROOF

EXISTING WEATHERBOARDS

1

EXISTING SOUTH ELEVATION

1 : 100 @A3



EXISTING TILED ROOF

EXISTING WEATHERBOARDS

2

EXISTING WEST ELEVATION

1 : 100 @A3

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DATE	DESCRIPTION	REV
13.03.2023	FRONT SETBACK TO 6m	D
15.03.2023	FRONT SETBACK & POST LAYOUT AMENDED	E
15.03.2023	FRONT SETBACK REDUCED AGAIN TO 2.5m	F
PRO 1135	SHEET NUMBER A - 23	REV F

CLIENT NAME:
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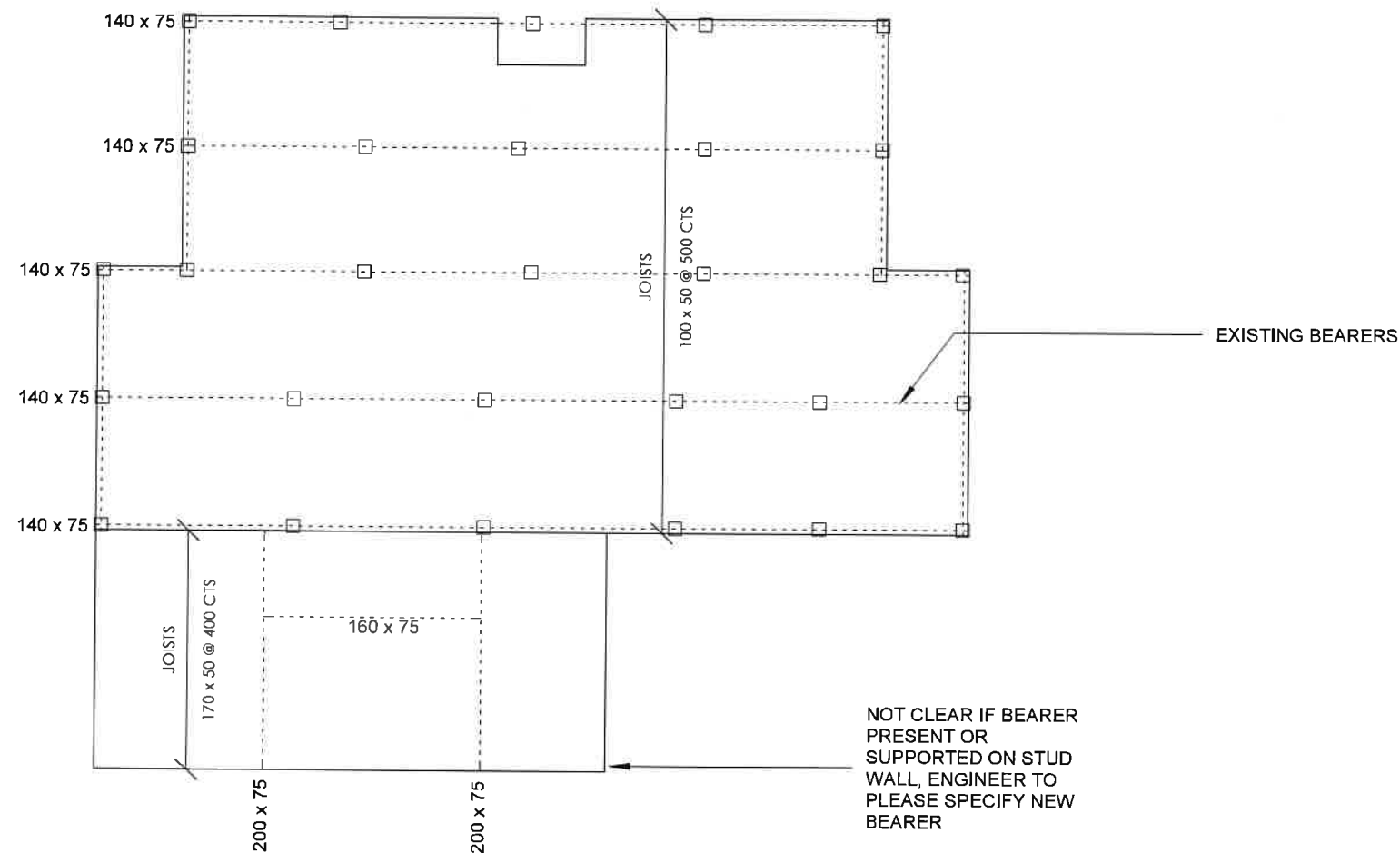
SHEET NAME:
EXISTING ELEVATIONS

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NOTES:

- ALL DRAWINGS AND DIMENSIONS FOR HOUSE RAISE OR MOVE ONLY. CHECK ALL DIMENSIONS BEFORE COMPLETING OTHER BUILDING WORK.
- DIMENSIONS TAKE PRIORITY OVER RL'S THAT MAY HAVE BEEN DERIVED FROM COUNCIL CONTOURS
- LOCAL COUNCIL HEIGHT LIMIT NOT TO BE EXCEEDED



1

EXISTING FLOOR STRUCTURE

1 : 100 @A3

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DATE	DESCRIPTION	REV
13.03.2023	FRONT SETBACK TO 6m	D
15.03.2023	FRONT SETBACK & POST LAYOUT AMENDED	E
15.03.2023	FRONT SETBACK REDUCED AGAIN TO 2.5m	F

PRO 1135 SHEET NUMBER A - 24 REV F

CLIENT NAME:
MORELLA AGRICULTURE

PROJECT ADDRESS:
LOT 24 PFINGST ST, TOOBEAH, QLD, 4498.

SHEET NAME:
EXISTING FLOOR STRUCTURE

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