

## Exemption Certificate

Section 46 of the Planning Act 2016

File reference: EC24-01  
Contact name: Mrs Ronnie McMahon: PD  
Contact number: (07) 4671 7400  
Date: 9 February 2024

Think Quality Building  
17 Gough Street  
GOONDIWINDI QLD 4390

Dear Scott,

I wish to advise that an Exemption Certificate is granted for a development comprising a 5.1m x 4.5m deck, built within the allowable secondary road setback, on Lot 1 on RP57851, 2 Marshall Street, Goondiwindi.

### 1. Description of the Development to which this Certificate relates

Assessable Development under the <i>Goondiwindi Region Planning Scheme 2018 (Version 2), Part 5 Tables of Assessment</i>	Part 5 Reference
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"Accommodation activities" – "Dwelling house" (deck built within allowable secondary road setback)	Table 5.5.4 (PO3 of the General Residential Zone Code)
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### 2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- The development is proposed to be 0.6m from the gutter line to the secondary road boundary. It is considered that the location of the proposed structure will maintain a coherent streetscape character and will not detract from the amenity of the adjoining premises as per PO3 of the General Residential Zone code.

**3. When Exemption Certificate Ceases to have Effect**

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This Exemption Certificate has effect for **two (2) years**.

**4. State Periods that Must be Complied with**

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To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 9 February 2026.

Should you have a query or seek clarification about any of these details, please contact Council's Manager of Planning Services, Mrs Ronnie McMahon, on (07) 4671 7400.

Yours faithfully



**Ronnie McMahon**  
Manager of Planning Services  
Goondiwindi Regional Council

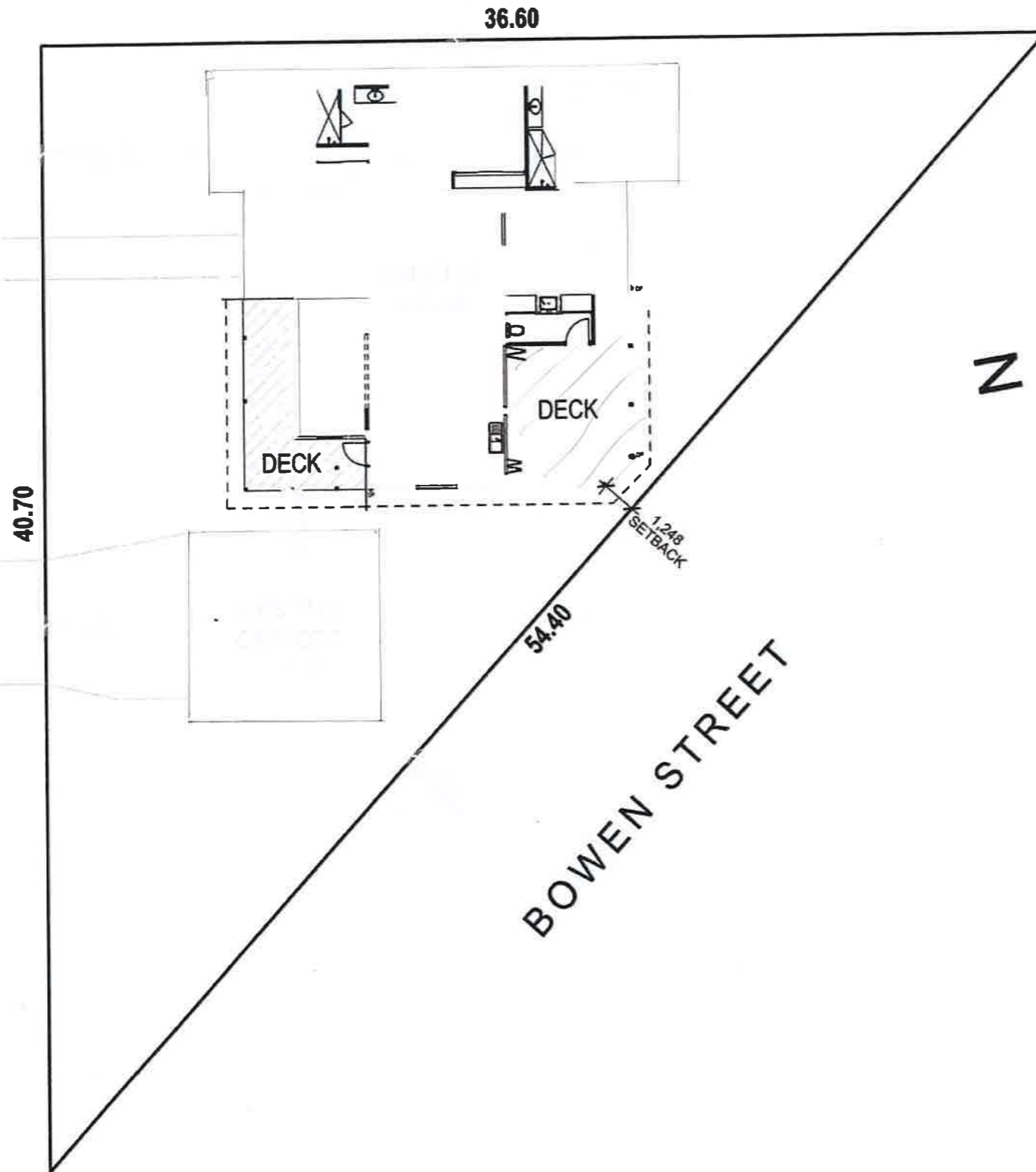
enc Attachment 1—Site Plan (2 Marshall Street, Goondiwindi)



**Attachment 1 – Site Plan (2 Marshall Street, Goondiwindi  
– Lot 1 on RP57851)**



MARSHALL STREET



notes

- Existing building layouts, dimensions & services to be confirmed on site by the builder. The builder is to confirm the total extent of existing site conditions & extent of demolition / termination of buildings, services, external improvements & landscaping.
- Builder is to undertake / arrange for an audit of the existing building for hazardous materials & asbestos materials. Any demolition / removal & disposal of hazardous / asbestos material are to be undertaken by a licensed contractor & in accordance with applicable codes of practice & legislation.
- Any demolition / removal of buildings elements & structures to be undertaken by a licensed contractor & in accordance with AS 2601, Workplace Health & Safety Act 1987, Workplace & Safety Regulation 1997 & any applicable code of practice. The builder is responsible for the correct disposal of all waste.
- Builder to take all necessary measures to adequately support existing building elements affected by the demolition & / or the extension until completion of the building work.
- Remove all elements & structures shown hatched or dashed.
- Any terminated services to be fully disconnected & removed. Builder to obtain all necessary approvals from regulatory bodies to perform the work.
- Site is to be left in a clean & tidy state at completion of the contract.

Denotes walls to be removed

Denotes existing walls

NOTES:

- SURVEY INFORMATION TO BE CONFIRMED BY LICENSED SURVEYOR PRIOR TO CONSTRUCTION.
- EXTENT OF SITE EARTHWORKS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- LOCATION OF BUILDING TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION.
- ALL SERVICES TO BE LOCATED ON SITE PRIOR TO CONSTRUCTION.
- GROUND SURFACE DRAINAGE PIPE LOCATIONS & CONFIGURATIONS TO DETAIL BY OTHERS.
- ROOF STORMWATER IS TO DISCHARGE TO LOCAL GOVERNMENT REQUIREMENTS AND APPROVALS. TANK'S OVERFLOW AND DOWNPIPES NOT CONNECTED TO RAINWATER TANKS TO DISCHARGE ON SITE TO NOMINATED DISCHARGE POINTS VIA BUBBLER SYSTEM. UPVC SURFACE DRAIN PIPES WITH A MIN. 1:100 FALL TO COMPLY WITH AS/NZS 3500:2003. A PHYSICAL AIR BREAK OR NON-RETURN VALVE IS TO BE PROVIDED AT THE TANK'S OVERFLOW BEFORE CONNECTING TO THE STORMWATER DRAINAGE SYSTEM.

REAL PROPERTY DESCRIPTION:

- LOCAL GOVERNMENT - GOONDIWINDI REGIONAL COUNCIL
- ~~LOT 1 ON RP 57851~~ Lot 1 on RP 57851
- SITE AREA - 738 M<sup>2</sup>

floor areas

existing house	162.05
existing patio	22.99
existing alfresco	13.21
	198.25 m <sup>2</sup>

roof areas

existing roof	247.40
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signatures

owner/s

builder

1 SITE PLAN  
1:200

SCOTT 0415 563 570 | ELIZA 0411 391 761  
THINKQUALITYBUILDING@GMAIL.COM  
Q.S.C. Lic No. 10287108



DESIGNER	TQB	CHECKER	XX	WIND CATEGORY	TBA	CLIENT	SHARPE NIGEL & TONI	PROJECT	PROPOSED ALTERATIONS & ADDITIONS 2 MARSHALL STREET, GOONDIWINDI	DRAWING NAME	SITE PLAN
REV	D	DATE	22/11/23	DRAWN	VH-RG	ISSUE	CONSTRUCTION PLAN				

SHEET NO	01	REV	D	PROJECT NO	TBA	A3
SHEETS IN SET	09	SCALE	1:200			