

Exemption Certificate
Section 46 of the Planning Act 2016

File reference: EC24-04
Contact name: Mr Kevin Gore
Contact number: (07) 4671 7400
Date: 28 March 2024

Makim Builders
PO Box 631
GOONDIWINDI QLD 4390

Dear Sirs

I wish to advise that an Exemption Certificate is granted for a development comprising of a Domestic Storage Shed within the required side boundary setback on Lot 59 on SP301365, 18 Billabong Drive, Goondiwindi.

1. Description of the Development to which this Certificate relates

Assessable Development under the <i>Goondiwindi Region Planning Scheme 2018 (Version 2)</i>, Part 5 Tables of Assessment	Part 5 Reference
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<i>"Accommodation activities" – "Dwelling house" (Storage Shed built within the side boundary setbacks)</i>	Table 6.2.3.1 (PO3 of the General Residential Zone Code)
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2. Reasons for Giving Exemption Certificate

The development is exempt under this Certificate under section 46(3)(b) of the *Planning Act 2016* for the following reasons:

- The effects of the development would be minor or inconsequential, considering the circumstances under which the development was categorised as assessable development.
- The proposal is for a non-habitable Storage Shed. It is considered that the proposed structure will maintain the coherent streetscape character of the zone and will not detract from the amenity of adjoining premises.

3. When Exemption Certificate Ceases to have Effect

This Exemption Certificate has effect for **two (2) years** from the date of issue.

4. State Periods that Must be Complied with

To the extent the development does not comply with any of the following, this Exemption Certificate has no effect:

- The use must commence by 28 March 2026.

Should you have a query or seek clarification about any of these details, please contact Council's Building Certifier, Mr Kevin Gore, on (07) 4671 7400.

Yours faithfully



Jason Quinnell
Director, Community and Corporate Services
Goondiwindi Regional Council

Enc: Attachment 1—Aerial Image Site Plan (Lot 59 on SP31365, 18 Billabong Drive, Goondiwindi),
Osborn Consulting Engineers, Job No. 24-0089, S1 and S5



Attachment 1 – Aerial Image Site Plan (Lot 59 on SP301365, 18 Billabong Drive, Goondiwindi), Osborn Consulting Engineers, Job No. 24-0089, S1 and S05



ISSUED FOR CONSTRUCTION

PROPERTY DESCRIPTION:

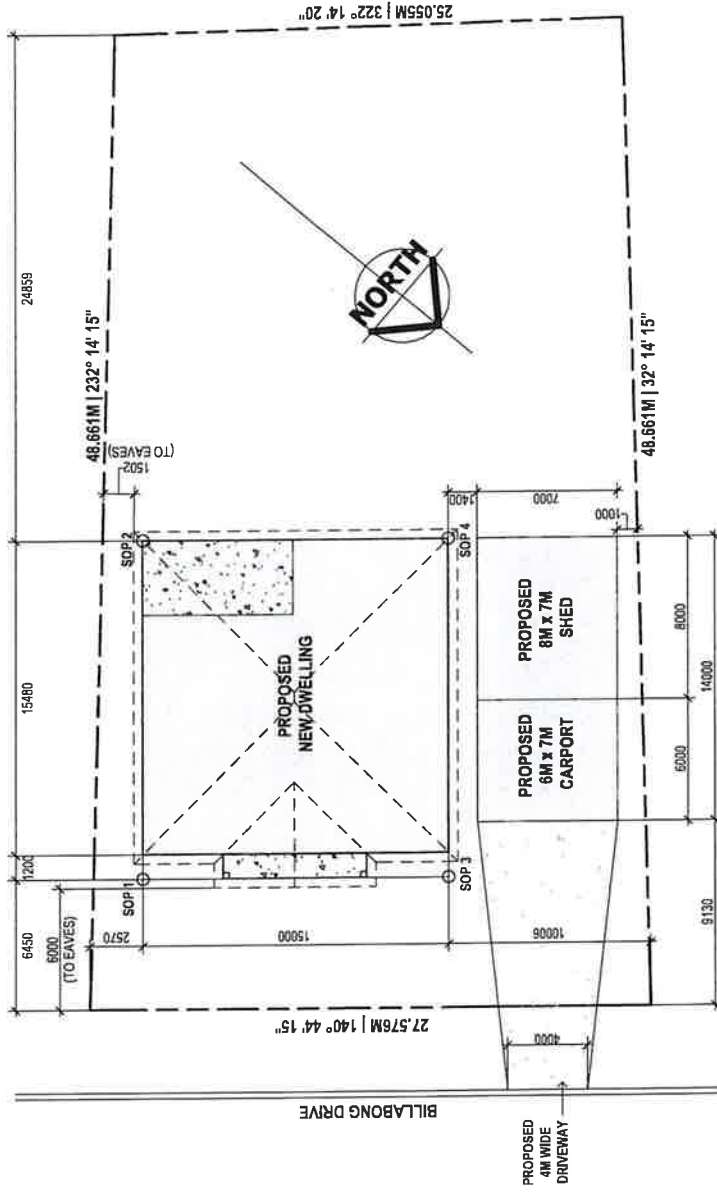
**LOCAL GOVERNMENT -
GOONDIWINDI REGIONAL COUNCIL
LOT 59 ON SP 301365
PARISH OF GOONDIWINDI
COUNTY OF MARSH
AREA: 1271m²**

GENERAL NOTES:
ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH THE N.C.C. - CLASS 1 BUILDINGS
ALL WORK MUST COMPLY WITH A.S. 1684.2 - 2010
EXTENT OF EARTHWORKS TO ENGINEER'S DESIGN & DETAILS.
CONFIRM SURVEY INFORMATION PRIOR TO CONSTRUCTION. IT IS RECOMMENDED THAT IF ANY DOUBT ARISES, A LICENSED SURVEYOR SHOULD BE COMMISSIONED TO SET OUT THE BUILDING.
CONFIRM LOCATION OF ALL SITE INGROUND AND OVERHEAD SERVICES PRIOR TO CONSTRUCTION.
ALL DIMENSIONS MUST BE CONFIRMED ON SITE BY BUILDER PRIOR TO CONSTRUCTION.
DAMP PROOFING TO COMPLY WITH N.C.C. REQUIREMENTS.
WET AREAS TO BE LINED WITH APPROVED F.C SHEETING AND WATERPROOFED IN ACCORDANCE WITH N.C.C. REQUIREMENTS.
FLOORS TO WET AREAS TO FALL TO WASTES.
W.C. DOORS TO HAVE LIFT OFF HINGES.

STORMWATER NOTES:
ALL PLUMBING WORK MUST COMPLY WITH AS/NZ 3500.5
ROOF STORMWATER IS TO DISCHARGE TO LOCAL GOVERNMENT REQUIREMENTS AND APPROVAL.
REFER TO SHEET 07 FOR ROOF DRAINAGE LAYOUT AND CALCULATIONS.

SEWER MAIN NOTES:
SEWER MAIN POSITION IS BASED ON HISTORICAL / MAPPING INFORMATION PROVIDED BY OTHERS AND IS INDICATIVE ONLY.
BUILDER TO HAVE SEWER MAIN ACCURATELY LOCATED & MARKED ON THE GROUND SURFACE & THE SEWER POSITION VERIFIED IN RELATION TO THE BUILDING PRIOR TO COMMENCING WORK.

**CONCURRENCE APPROVAL ONLY
NOT FOR CONSTRUCTION**



© Copyright in whole or part Kristy Collins Drafting & Design
Designer shall not be responsible for the structural design of the building. All dimensions should be verified on site prior to construction.
This plan has been prepared in accordance with all relevant building codes and no amendment shall be made without approval from the relevant local authority.
All construction to be in strict accordance with relevant Australian Standards & Building Code of Australia
R AUTODESK REVIT

0421525844
kcdraftinganddesign@gmail.com
PO BOX 242
GOONDIWINDI Q 4390
ABN 54 879 605 744

KRISTY COLLINS
Drafting and Design

No.	Description	Date
2	PROPOSED FP & ELEVATIONS V2	18/02/2023
3	PRELIMINARY PLANS	20/02/2023
4	PRELIMINARY PLANS V3	20/02/2023
5	PRELIMINARY PLANS V2	20/02/2023
6	ISSUED FOR CONSTRUCTION	24/05/2023
7	ISSUED FOR CONSTRUCTION V2	25/08/2023

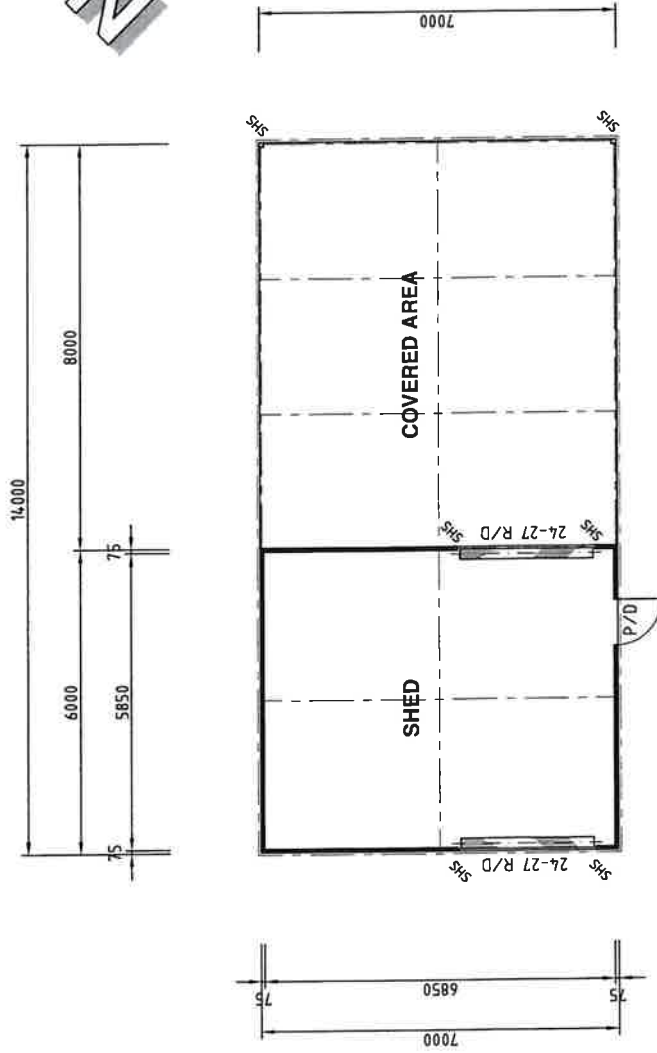
LYNDALL AND COREY MARTYN
LOT 59 BILLABONG DRIVE
GOONDIWINDI Q 4390

QBCC - 1127844
MAKIM BUILDERS
Drafting and Design

SITE PLAN

Project number	061
Date	25/08/2023
Designer	KC
01	
Scale 1 : 250	

This drawing has been prepared by Osborn Consulting Engineers Pty. Ltd. and must not be modified. Use of this information for any purpose must be done in conjunction with the hard copy approved drawings. Hard copy approved drawings take precedence over the electronic version and any discrepancies must be verified with Osborn Consulting Engineers Pty. Ltd. Do not rely on electronic drawing files for accurate set-out. All set-out information must be verified on site prior to commencement of fabrication and construction. The builder shall obtain and use the latest revision of all drawings associated with this drawing by this office and any relevant drawings / documents prepared by other consultants.



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NOTE :-
ALL SET-OUT DIMENSIONS, FLOOR LEVELS, SETDOWNS / FALLS ETC. MUST BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES MUST BE VERIFIED WITH OSBORN CONSULTING ENGINEERS.

SAFETY IN DESIGN

1. Notice to all persons who commissioned the design work depicted in these documents.
This notice is also relevant to all those involved in the construction of the works, its operation and demolition.
The construction of these works involves activities which has some risk to the health and safety of those :-
(a) involved in the construction, and those who are not involved in the construction but enter the construction site.
(b) who use the facility. This facility requires maintenance to maintain its initial level of safety. Note that maintenance activities also carry health and safety risks.
2. The eventual demolition of these works will involve activities which has some risk to health and safety.
Please contact Osborn Consulting Engineers for information and assistance with minimising these risks.
- 3.
- 4.

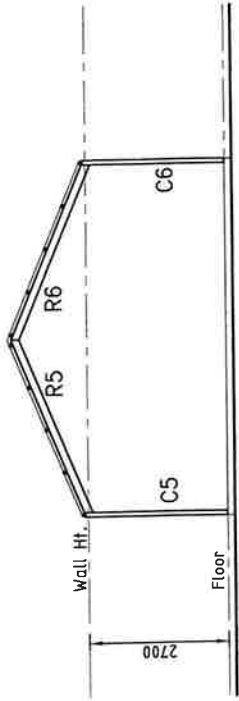
PROPOSED FLOOR PLAN
SCALE 1 : 100

<p>NOTES :-</p> <ol style="list-style-type: none"> 1. Builder to verify all information & dimensions on site prior to commencement of construction 2. DO NOT SCALE DRAWINGS 3. This drawing and the copyright thereof remains the property of :- Osborn Consulting Engineers Pty. Ltd. A.B.N. 83 602 572 967 A.C.N. 602 572 967 	<p style="text-align: center;">Osborn CONSULTING ENGINEERS</p> <p style="font-size: small;">148A Palmerin Street (PO Box 485) Warwick Qld. 4370 Ph: 07-4660 5300</p> <p style="font-size: x-small;">25 Wards Road, Brisbane Qld. 4005 Unit 14, 99 Langford Road, Mt. Owl. 4039 Ph: 07-3282 7700</p>	<p style="text-align: center;">MAKIM BUILDERS</p> <p style="text-align: center;">PROPOSED SHED #18 BILLABONG DRIVE Lot 59 SP301365, GOONDIWINDI</p>	<p style="text-align: center;">PROPOSED FLOOR PLAN</p> <table style="width: 100%; font-size: x-small;"> <tr> <td>drawn: K.D. (Mar. 24)</td> <td>designed/ R.D.</td> <td>rev:</td> </tr> <tr> <td>certified: <i>[Signature]</i></td> <td>checked: <i>[Signature]</i></td> <td>1637 A</td> </tr> <tr> <td>scale: As Shown</td> <td>job no.:</td> <td>24-0089</td> </tr> <tr> <td>Sheet 1 of 7</td> <td></td> <td>dwg no</td> </tr> </table>	drawn: K.D. (Mar. 24)	designed/ R.D.	rev:	certified: <i>[Signature]</i>	checked: <i>[Signature]</i>	1637 A	scale: As Shown	job no.:	24-0089	Sheet 1 of 7		dwg no
drawn: K.D. (Mar. 24)	designed/ R.D.	rev:													
certified: <i>[Signature]</i>	checked: <i>[Signature]</i>	1637 A													
scale: As Shown	job no.:	24-0089													
Sheet 1 of 7		dwg no													
<p>Issued for Approval: 27/05/24 K.D. A</p> <p>Issued: by: rev:</p>															

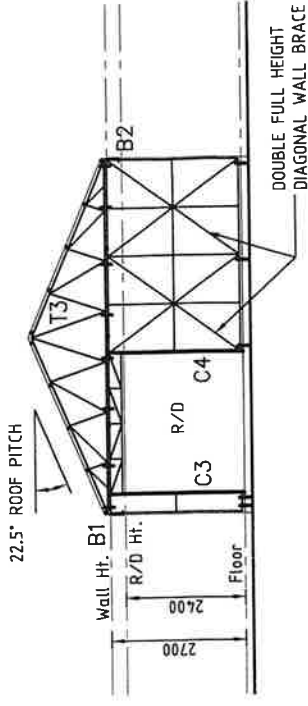
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STEELWORK NOTES :-

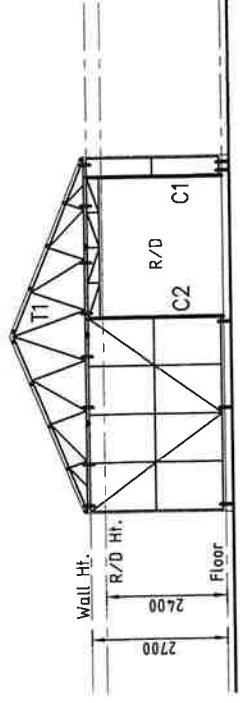
1. Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 & AS 1252.
2. Unless noted otherwise :
 (i) All gussets and end plate to be 8mm.
 (ii) All bolts to be M12 4.6/S.
 (iii) Welds to be 6mm cont. fillet welds to mild steel sections, & 3mm cont. fillet welds to cold rolled steel.
 (iv) All welds to be free of slag. Supervisor may call for testing of welds as deemed necessary.
3. All welds to be free of slag. Supervisor may call for testing of welds as deemed necessary.
4. Submit 2 copies of shop drawings to engineer for approval before commencing fabrication.
5. Maintain stability of structure throughout construction.
6. All steel work to be sandblasted to class 2.5 and hot dipped galvanized or paint finished to client's specifications.
7. Cold formed sections shall comply with AS/NZS 4600.



NORTH-EAST ELEVATION
SCALE 1 : 100
(COVERED AREA)



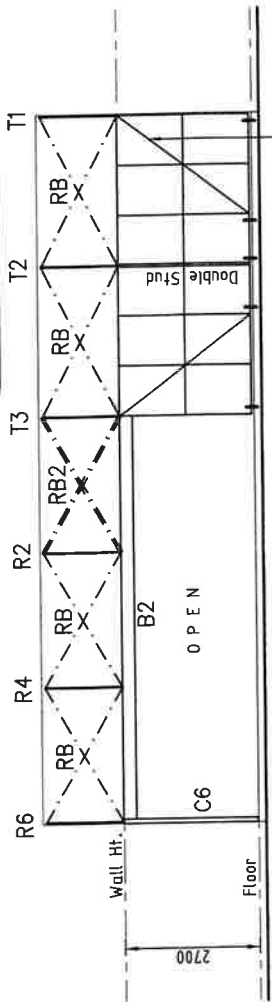
NORTH-EAST ELEVATION
SCALE 1 : 100
(SHED)



SOUTH-EAST ELEVATION
SCALE 1 : 100

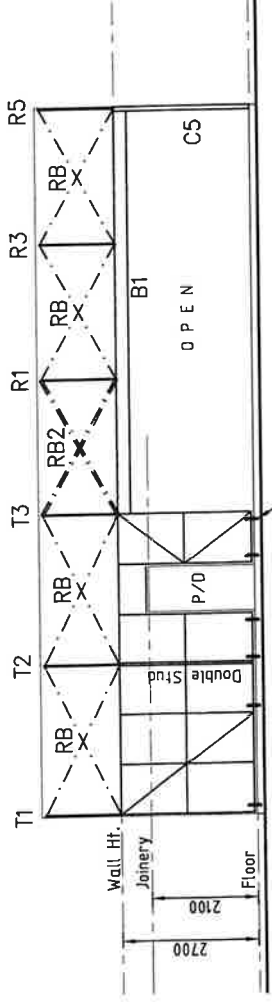
STEEL STUD WALL FRAMING :- FULLY WELDED FRAMES
 TOP & BOTTOM PLATES :- 78 X 28 X 1.15 BMT
 STUDS @ 1000 CRS. MAX. :- 75 X 30 X 1.15 BMT
 ENSURE DOUBLE STUD DIRECTLY BELOW EACH TRUSS
 NOGGING (MID-HEIGHT) :- 72 X 32 X 1.15 BMT

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NORTH-WEST ELEVATION
SCALE 1 : 100

DENOTES FULL HEIGHT DIAGONAL OR "K" WALL BRACE LOCATIONS USING 72 X 32 X 1.15 BMT NOGGING SECTION



SOUTH-EAST ELEVATION
SCALE 1 : 100

WALL STUD FRAME TO SLAB :-
 1-M12 801 EXTREM CHEMSET ANCHOR WITH 50 X 50 X 3 PL WASHER @ 2000 CRS. MAX., TRUSS LOCATIONS, ENDS OF WALLS & EDGES OF OPENINGS & EACH END OF WALL BRACES

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